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HOUSE
PROPOSED NEW FOR A.O.

CONNECTED FILES.

NUMBER

D/4 /62 /A

Proposed new house for A.O. - passages for artisans.

EC3. South Georgia F.I.D. 270/1

CONTRACT
FOR
THE MANUFACTURE & ERECTION OF
ADMINISTRATIVE OFFICER'S BUNGALOW
KING EDWARD POINT
SOUTH GEORGIA

GOVERNMENT OF THE FALKLAND ISLANDS

BUNGALOW FOR ADMINISTRATIVE OFFICER, SOUTH GEORGIA

FORM OF AGREEMENT

THIS AGREEMENT is made the _____ day of _____ One Thousand nine hundred and sixty _____ BETWEEN THE CROWN AGENTS FOR OVERSEA GOVERNMENTS AND ADMINISTRATIONS of 4 Millbank in the City of Westminster (hereinafter referred to as the "Crown Agents") acting for and on behalf of the Government of the Falkland Islands (hereinafter referred to as the "Government") of the one part and DORRAN CONSTRUCTION LIMITED of PERTH in the county of PERTSHIRE (hereinafter referred to as the "Contractor" which expression shall be deemed to include his successors and permitted assigns) a company incorporated under the laws of SCOTLAND whose Registered Office is at Dorran Works, Perth, Scotland of the other part.

WHEREAS the Government is desirous that such Works as are hereinafter mentioned for the provision of a Bungalow at King Edward Point, South Georgia, and other works in connection therewith shall be provided, delivered F.O.B., erected, completed, handed over ready for immediate occupation and thereafter maintained in the manner and during the period hereinafter provided and the Contractor has submitted a tender dated the 29th day of August, 1963, to provide, deliver F.O.B., erect, complete, hand over ready for immediate occupation and thereafter maintain such Works upon the terms during the period and in the manner hereinafter mentioned which Tender has been accepted by the Government.

AND WHEREAS it has been agreed between the said parties hereto that these presents shall be entered by way of Contract and that the Contractor shall secure the due performance of the Contract by the joint and several bond of himself and Alliance Assurance Company Limited in the sum of Five Thousand pounds and it is intended that such bond shall bear even date with this Contract.

NOW THIS DEED WITNESSETH AND IT IS HEREBY AGREED AND DECLARED AS follows.

1. IN this Agreement words and expressions shall have the same meanings as are respectively assigned to them in the Conditions of Contract.
2. THE following documents shall be deemed to form and be read and construed as part of this Agreement, viz:-
 - (a) The Crown Agent' letter of invitation dated 15th August, 1963, and amending letter dated 21st August, 1963.
 - (b) The Contractor's tender dated 29th August, 1963, amending letter dated 24th September, 1963, and General Specification.
 - (c) The Contractor's letter of 17th September, 1963 and the Crown Agents' reply dated 20th September, 1963.
 - (d) The Crown Agents' letter of intent dated 26th September, 1963, and the Contractor's acknowledgment dated 27th September, 1963.

- (e) The Crown Agents' letter of acceptance, subsequently dated 1st October, 1963 and the Contractor's acknowledgment thereof dated 2nd October, 1963.
- (f) The Conditions of Contract, the Specification, Drawings Numbered EC.14792A and 14793A and Schedule (A) of Furnishings and Fittings and Equipment amended as agreed to include the extras.

3. IN consideration of the payments to be made by the Government to the Contractor as hereinafter mentioned the Contractor hereby covenants with the Government to provide, deliver F.O.B., erect, complete, hand over ready for immediate occupation and thereafter maintain the Works in conformity in all respects with the provisions of the Contract.

4. IN consideration of the provision, delivery F.O.B., erection, completion, handing over ready for immediate occupation and thereafter the maintenance of the Works the Government hereby covenants to pay to the Contractor the sum of Twenty four thousand, five hundred and thirty two pounds (£24,532) (or such other sum as may be ascertained in accordance with the Contract) at the times and in the manner prescribed in the Contract.

IN WITNESS whereof _____

_____ one of the Crown Agents for Oversea Governments and Administrations has hereunto set his hand and seal and the Contractor has caused his Common Seal to be hereunto affixed the day and year first above written.

SIGNED, SEALED and DELIVERED by)
_____)
One of the Crown Agents for)
Oversea Governments and)
Administrations in the presence of)

THE COMMON SEAL of

was hereunto affixed in the
presence of

GOVERNMENT OF THE FALKLAND ISLANDS
BUNGALOW FOR ADMINISTRATIVE OFFICER, SOUTH GEORGIA
CONDITIONS OF CONTRACT

1. (1) Definitions - In the Contract (as hereinafter defined) the following words and expressions shall have the meanings hereby assigned to them except where the context otherwise requires:-

- (A) "Employer" and "Government" mean the Government of the Falkland Islands.
- (B) "Crown Agents" means the Crown Agents for Oversea Governments and Administrations for the time being.
- (C) "The Contractor" means Messrs. Dorran Construction Limited of Perth, Scotland, his successors and permitted assigns.
- (D) "Engineer" means the Engineer-in-Chief of the Crown Agents and includes the Chief Civil Engineer and the Chief Inspecting Engineer of the Crown Agents.
- (E) "Engineer's Representative" means (a) for inspection matters arising in the United Kingdom a nominated member of the Chief Inspecting Engineer's staff and (b) for matters arising in South Georgia a person nominated by the Government.
- (F) "Works" means the works to be executed in accordance with the Contract.
- (G) "Contract" means the Conditions of Contract, the Specifications, the Tender, the letters mentioned in the Letter of Acceptance, and the Drawings.
- (H) "Contract Price" means the total amount of the accepted Tender subject to such additions thereto or deductions therefrom as may be made under the provisions hereinafter contained.
- (I) "Constructional Plant" means all appliances or things of whatsoever nature required in or about the execution and maintenance of the Works, but does not include materials or other things intended to form or forming part of the permanent work.
- (J) "Drawings" means the drawings referred to in the Tender and for purposes of identification signed by the Contractor and by the Engineer on behalf of the Employer and any modification of such drawings approved in writing by the Engineer and such other drawings as may from time to time be approved in writing by the Engineer.
- (K) "Site" means the lands and other places on, under, in or through which the Works are to be executed or carried out and any other lands or places provided by the Government for the purposes of the Contract.
- (L) "Approved" means approved in writing including written confirmation of previous verbal approval and "approval" means approval in writing including as aforesaid.

(2) Singular and Plural. - Words importing the singular only also include the plural and vice versa where the context requires.

(3) Section and clause headings. - The headings to sections and clauses in these Conditions shall not be deemed to be part thereof or be taken into consideration in the interpretation or construction thereof or of the Contract.

2. Duties and Powers of Engineer's Representatives

(1) The duties of the Engineer's Representatives are to watch and supervise the Works and to test and examine any materials to be used or workmanship employed in connection with the Works. They shall have no authority to relieve the Contractor of any of his duties or obligations under the Contract nor except as expressly provided hereunder or elsewhere in the Contract to order any work involving delay or any extra payment by the Employer nor to make any variation of or in the Works.

(2) The Engineer may from time to time in writing delegate to the Engineer's Representatives any of the powers and authorities vested in the Engineer and shall furnish to the Contractor a copy of all such written delegations of powers and authorities. Any written instruction or approval given by the Engineer's Representatives to the Contractor within the terms of such delegation (but not otherwise) shall bind the Contractor and the Employer as though it had been given by the Engineer. Provided always that

(a) Failure of an Engineer's Representative to disapprove any work or materials shall not prejudice the power of the Engineer thereafter to disapprove such work or materials and to order the pulling down removal or breaking up thereof.

(b) If the Contractor shall be dissatisfied by reason of any decision of the Engineer's Representatives he shall be entitled to refer the matter to the Engineer who shall thereupon confirm, reverse or vary such decision.

3. Assignment. - The Contractor shall not assign the Contract or any part thereof or any benefit or interest therein or thereunder (other than a charge in favour of the Contractor's Bankers of any moneys due or to become due under this Contract) without the prior written consent of the Employer.

4. Sub-letting. - The Contractor shall not sub-let the whole of the Works. Except where otherwise provided by the Contract the Contractor shall not sub-let any part of the Works without the prior written consent of the Engineer. Such consent, if given, shall not relieve the Contractor from any liability or obligation under the Contract and he shall be responsible for the acts, defaults and neglects of any Sub-Contractor.

5. Extent of Contract.

(1) The Contract comprises the execution, completion and maintenance of the Works and, except in so far as the Contract otherwise provides, the provision of all labour, materials, constructional plant and everything required in and for such execution, completion and maintenance so far as the necessity for providing the same is specified in or reasonably to be inferred from the Contract.

(2) The Contractor shall give adequate instruction to Government personnel in the use, operation and maintenance of the heating and electrical equipment and installations and shall supply operating and maintenance handbooks, tools and spare parts.

6. Documents Mutually Explanatory.-The several documents forming the Contract are to be taken as mutually explanatory of one another and in case of ambiguities or discrepancies the same shall be settled by the Engineer who shall thereupon issue to the Contractor instructions directing in what manner the work is to be carried out without extra payment and the Contractor shall execute the work accordingly.

7. Drawings.-The Contractor shall provide at his own expense all drawings required in the manufacture and erection of the Works. He shall keep one complete set of the Drawings on the Site and shall provide the Crown Agents with three sets. On completion of the Works he shall supply to the Crown Agents one set of 'as made' drawings on linen and two sets of paper prints therefrom.

8. Further Instructions.-The Engineer shall have full power and authority to supply to the Contractor from time to time during the progress of the Works such further instructions as shall be necessary for the purpose of the proper and adequate execution and maintenance of the Works and the Contractor shall carry out and be bound by the same.

9. Inspection of Site.-The Contractor shall be deemed to have inspected and examined the Site and its surroundings and to have satisfied himself before submitting his Tender as to the nature of the ground and sub-soil, the form and nature of the Site, the quantities and nature of the work and materials necessary for the completion of the Works and the means of access to the Site, the accommodation he will require and, in general, shall be deemed to have obtained for himself all necessary information as to risks contingencies and other circumstances which might influence or affect his Tender.

10. Sufficiency of Tender.-The Contractor shall be deemed to have satisfied himself before tendering as to the correctness and sufficiency of his Tender for the Works and of the rates and prices quoted in the Tender ~~XXXXXXXXXXXXXXXXXXXX~~ which shall, except in so far as it is otherwise provided in the Contract cover all his obligations under the Contract and all matters necessary for the proper completion and maintenance of the Works.

11. Work to be to the satisfaction of the Engineer.-Save in so far as it is legally or physically impossible the Contractor shall execute complete and maintain the Works in strict accordance with the Contract to the satisfaction of the Engineer and shall comply with and adhere strictly to the Engineer's instructions and directions on any matter (whether mentioned in the Contract or not) touching or concerning the Works. The Contractor shall take instructions and directions only from the Engineer or subject to the limitations referred to in Clause 2 hereof from the Engineer's Representative.

12. Contractor's Superintendence.-The Contractor shall give or provide all necessary superintendence during the execution of the Works and shall be responsible for the proper fulfilling of his obligations under the Contract. He or a competent and authorised representative approved of in writing by the Engineer

is to be constantly on the Works and shall give his whole time to the superintendence of the same. Such authorised agent or representative shall receive on behalf of the Contractor directions and instructions from the Engineer or subject to the limitations of Clause 2 hereof the Engineer's Representative.

13. Contractor's Employees.

(1) The Contractor shall provide and employ on the Site in connection with the execution of the Works only such men as are skilled and experienced in their respective trades and leading hands who are competent to give proper supervision to the execution of the work and such unskilled labour as is necessary for the proper and timely execution of the Works.

(2) The Contractor shall notify the Crown Agents in writing at least one month before the date of departure from the United Kingdom the names and trades of all the Contractor's employees to be sent to South Georgia, including the name of the employee to be appointed as his representative under Clause 12 hereof.

(3) References in the Contract to Contractor's employees shall be taken to include sub-contractor's employees.

14. Setting-out.-The Contractor shall be responsible for the true and proper setting-out of the Works and for the correctness of the position levels dimensions and alignment of all parts of the Works and for the provision of all necessary instruments appliances and labour in connection therewith. If at any time during the progress of the Works any error shall appear or arise in the position levels dimensions or alignment of any part of the Works the Contractor on being required so to do by the Engineer or Engineer's Representative shall at his own expense rectify such error to the satisfaction of the Engineer or Engineer's Representative unless such error is based on incorrect data supplied in writing by the Engineer or the Engineer's Representative in which case the cost of rectifying the same shall be borne by the Employer. The checking of any setting-out or of any line or level by the Engineer's Representative shall not in any way relieve the Contractor of his responsibility for the correctness thereof and the Contractor shall carefully protect and preserve all bench-marks site-rails pegs and other things used in setting-out the Works.

15. Watching and Lighting.-The Contractor shall in connection with the Works provide and maintain at his own cost all lights guards fencing and watching when and where necessary or required by the Engineer's Representative or by any duly constituted authority for the protection of the Works or for the safety and convenience of the public or others.

16. (1) Care of Works.-Except during the period of shipment that is to say from the time the Works are delivered to the Ship's Master until they are received back from him in South Georgia the Contractor shall from the date of commencement of the Works to the date of issue of the Certificate of Completion take full responsibility for the care thereof and in case any damage, loss or injury shall happen to the Works or to any part thereof from any cause whatsoever (save and except the excepted risks as defined in sub-clause (2) of this clause) shall at his own cost repair and make good the same so that at completion the Works shall be in good order and condition and in conformity in every respect with the requirements of the Contract and the Engineer's instructions. In the event of any such damage loss

or injury happening from any of the excepted risks the Contractor shall if and to the extent required by the Engineer make good the same as aforesaid at the cost of the Employer. The Contractor shall also be liable for any damage to the Works occasioned by him (including any person or persons appointed in accordance with Clause 37(4) hereof to act on his behalf) in the course of any operations carried out by him after the date of issue of the Certificate of Completion for the purpose of complying with his obligations under the Contract.

(2) Excepted risks - The "excepted risks" are war, hostilities (whether war be declared or not), invasion, act of foreign enemies, rebellion, revolution, insurrection or military or usurped power, civil war or (otherwise than amongst the Contractor's own employees), riot, commotion or disorder or a cause solely due to use or occupation by the Employer of any portion of the Works in respect of which a Certificate of Completion has been issued (all of which are hereinafter collectively referred to as the "excepted risks").

17. Insurance of Works, etc.

(1) Without limiting his obligations and responsibilities under Clause 16 hereof the Contractor shall insure in the joint names of the Employer and the Contractor against all loss or damage from whatever cause arising (other than the excepted risks) for which he is responsible under the terms of the Contract and in such manner that the Employer and Contractor are covered during the period of construction of the Works commencing from the time the Contractor receives the materials and Constructional Plant from the Ship's Master in South Georgia and are also covered during the Period of Maintenance for loss or damage arising from a cause occurring prior to the commencement of the Period of Maintenance and for any loss or damage occasioned by the Contractor (including any person or persons appointed in accordance with Clause 37(4) hereof to act on his behalf) in the course of any operations carried out by him or them after the date of issue of the Certificate of Completion for the purpose of complying with his obligations under the Contract:-

- (A) The Works to the full value of such works executed from time to time.
- (B) The materials, Constructional Plant and other things brought on to the Site by the Contractor to the full value of such materials, Constructional Plant and other things.

Such insurances shall be effected with an insurer and in terms approved by the Crown Agents (which approval shall not be unreasonably withheld) and the Contractor shall whenever required produce to the Crown Agents the policy or policies of insurance and the receipts for payment of the current premiums of insurance may be retained by the Crown Agents. Provided always that without limiting his obligations and responsibilities as aforesaid nothing in this clause contained shall render the Contractor liable to insure against the necessity for the repair or reconstruction of any work constructed with materials or workmanship not in accordance with the requirements of the Contract.

(2) The policy or policies of insurance shall be endorsed providing for all payments in respect of each claim for loss or damage in excess of £1,000 to be made to the Crown Agents except when the Crown Agents authorise payment to be made direct to the Contractor.

(3) From the moneys received by them under sub-clause (2) hereof the Crown Agents shall pay to the Contractor such instalments as the Engineer shall think proper and certify having regard to the progress made by the Contractor in making good the damage or loss aforesaid. If and so far as such moneys shall be insufficient for the purpose aforesaid the deficiency shall be borne by the Contractor. If and so far as the said moneys shall not be required for the purpose aforesaid or for repayment to the Employer of any payments or advances made by him to the Contractor in respect of Works materials or other things so lost or damaged they shall upon the direction in writing of the Engineer be paid over to the Contractor.

18. Damage to persons and property

(1) The Contractor shall indemnify and keep indemnified the Employer against all losses and claims for injuries or damage to any person or any property whatsoever (other than surface or other damage to land being or crops being on the Site suffered by tenants or occupiers) which may arise out of or in consequence of the construction and maintenance of the Works and against all claims demands proceedings damages costs charges and expenses whatsoever in respect of or in relation thereto. Provided always that nothing herein contained shall be deemed to render the Contractor liable for or in respect of or to indemnify the Employer against any compensation or damages for or with respect to:-

- (A) The permanent use or occupation of land by the Works or any part thereof or (save as hereinafter provided) surface or other damage as aforesaid.
- (B) The right of the Employer to construct the Works or any part thereof on, over, under, in or through any land.
- (C) Interference whether temporary or permanent with any rights of light, air, way or water or other easement or quasi-easement which is the unavoidable result of the construction of the Works in accordance with the Contract.
- (D) Injuries or damage to persons or property resulting solely from any act or neglect done or committed during the currency of the Contract of the Employer, his agents, servants or other contractors (not being employed by the Contractor) other than any person or persons employed in accordance with Clause 37(4) hereof or for or in respect of any claims demands, proceedings, damages, costs, charges and expenses in respect thereof or in relation thereto.

Provided further that for the purposes of this clause the expression "the Site" shall be deemed to be limited to the area defined in the Specification or shown on the Drawings in which land and crops will be disturbed or damaged as an inevitable consequence of the carrying out of the Works.

(2) Indemnity by Employer - The Employer will save harmless and indemnify the Contractor from and against all claims, demands, proceedings, damages, costs, charges and expenses in respect of the matters referred to in the proviso to sub-clause (1) of this clause.

19. Third party insurance

(1) Before commencing the execution of the Works in South Georgia the Contractor (but without limiting his obligations and responsibilities under

Clause 18 hereof) shall insure in the joint names of the Employer and the Contractor against any damage, loss or injury which may occur to any property (including that of the Employer) or to any person (including any employee of the Employer) by or arising out of the execution of the Works or in the carrying out of the Contract otherwise than due to the matters referred to in the proviso to Clause 18 (1) hereof.

(2) Minimum amount of third party insurance.-Such insurance shall be effected with an insurer and in terms approved by the Crown Agents (which approval shall not be unreasonably withheld) and for at least £50,000 and the Contractor shall whenever required produce to the Crown Agents the policy or policies of insurance and the receipts for payment of the current premiums any of which may be retained by the Crown Agents.

(3) The policy or policies of insurance shall include a cross-liabilities clause.

20. Accident or injury to workmen.

(1) The Employer shall not be liable for or in respect of any damages or compensation payable at law in respect or in consequence of any accident or injury to any workman or other person in the employment of the Contractor or any Sub-Contractor save and except an accident or injury resulting solely from any act or default of the Employer, his agents or servants and the Contractor shall indemnify and keep indemnified the Employer against all such damages and compensation (save and except as aforesaid) and against all claims demands proceedings costs charges and expenses whatsoever in respect thereof or in relation thereto.

(2) Insurance against accident, etcetera, to workmen.-

(A) The Contractor shall insure against such liability with an insurer approved by the Crown Agents (which approval shall not be unreasonably withheld) and shall continue such insurance during the whole of the time including time in transit to and from South Georgia that any persons are employed by him on the Works and shall when required produce to the Crown Agents such policy of insurance and the receipt for payment of the current premium. Provided always that in respect of any persons employed by any Sub-Contractor the Contractor's obligation to insure as aforesaid under this sub-clause shall be satisfied if the Sub-Contractor shall have insured against the liability in respect of such persons in such manner that the Employer is indemnified under the policy but the Contractor shall require such Sub-Contractor to produce to the Crown Agents when required such policy of insurance and the receipt for payment of the current premium.

(B) The policy or policies of insurance shall be endorsed indemnifying the Employer in the event of any claim being made upon the Employer as Principal and arising out of the performance by the Contractor of the Contract.

21. Remedy on Contractor's failure to insure.-If the Contractor shall fail to effect and keep in force the insurances referred to

Clauses 17, 19 and 20 hereof or any other insurance which he may be required to effect under the terms of the Contract then and in any such case the Crown Agents may effect and keep in force any such insurance and pay such premium or premiums as may be necessary for that purpose and from time to time deduct the amount so paid by the Crown Agents as aforesaid from any moneys due or which may become due to the Contractor or recover the same as a debt due from the Contractor. Nothing in this clause contained shall impose any liability upon the Crown Agents either to effect or to keep in force any insurance on behalf of the Contractor.

22. Patent rights and royalties - The Contractor shall save harmless and indemnify the Employer from and against all claims and proceedings for or on account of infringement of any patent rights design trade mark or name or other protected rights in respect of any Constructional Plant machine work or material used for or in connection with the Works and from and against all claims demands proceedings damages costs charges and expenses whatsoever in respect thereof or in relation thereto.

23. Quality of materials and workmanship - All materials and workmanship shall be of the respective kinds described in the Specification and in accordance with the Engineer's instructions and shall be subjected to such tests as the Engineer may direct at the place of manufacture or fabrication or on the Site or at all or any of such places. The Contractor shall provide such assistance instruments machines labour and materials as are normally required for carrying out such tests. The cost of making such tests shall be borne by the Contractor.

24. Supply of Constructional Plant, Material and Labour

(1) Except where otherwise specified the Contractor shall at his own expense supply maintain and transport to or from the Site and in and about the Works all the Constructional Plant materials labour (including the supervision thereof) and other things of every kind required for the construction completion and maintenance of the Works.

(2) The Government shall make available for the duration of the Works (except when required for other duties), plant and tools as listed in the Specification.

(3) The Crown Agents will arrange without cost to the Contractor for sea freight and insurance during sea passage of all Constructional Plant and materials on the outward journey. The Contractor will be liable for the cost of all United Kingdom port dues.

(4) The Contractor shall assist in unloading the materials and Constructional Plant in South Georgia by receiving and stacking cargo discharged over the ship's side on behalf of the Consignee and shall report immediately to the Ship's Master and to the Engineer's Representative all loss or damage to the materials and Constructional Plant. On receiving on behalf of the Consignee from the Ship's Master at the Jetty, King Edward Point, all cargo consigned for the Works he shall immediately take it over and shall thereafter be wholly responsible for the Constructional Plant, and materials in accordance with Clause 16 hereof.

(5) The Crown Agents will arrange without cost to the Contractor one outward sea passage and one return sea or sea and air passage to United Kingdom port or airport for each of the men comprising the Contractor's employees employed on the Works in South Georgia.

(6) The Government will supply free of charge to the Contractor the oil fuel and electricity necessary for testing the heating and electrical installations.

25. Clearance of Site on completion.-On the completion of the Works the Contractor shall clear away and remove from the Site all Constructional Plant surplus materials and rubbish of every kind and leave the Site and the Works clear and clean to the satisfaction of the Engineer's Representative.

26. Engagement of Labour.

(1) The Contractor shall enter into a written agreement with each of his employees before they leave the United Kingdom setting out the conditions of their service.

(2) The Contractor shall make his own arrangements for the engagement and payment of any casual labour in South Georgia.

27. Medical Treatment.-The Contractor's employees sent from the United Kingdom shall be entitled to receive in South Georgia at the expense of the Government medical treatment to the same standard as that provided for employees of the Government.

28. Accidents.-The Contractor shall within 24 hours of the occurrence of any accident on or about the Site or in connection with the execution of the Works, report such accident to the Engineer's Representative.

29. Disorderly Conduct.-The Contractor shall at all times take all reasonable precautions to prevent any unlawful or disorderly conduct by or amongst his employees and to protect persons and property in the neighbourhood of the Works against the same.

30. Access to Site.-The Engineer and any person authorised by him shall at all times have access to the Works and to the Site and to all places where work is being prepared or manufactured for the Works and the Contractor shall give every facility for such access.

31. Examination of work before covering up.-No work shall be covered up or put out of view without the approval of the Engineer or the Engineer's Representative and the Contractor shall afford full opportunity for the examination of any work which is about to be covered up or put out of view and to examine foundations before permanent work is placed thereon. The Contractor shall give due notice to the Engineer's Representative whenever any such work is ready or about to be ready for examination and the Engineer's Representative shall without unreasonable delay carry out the required examination. The Engineer's Representative shall have power to order the removal of any faulty materials and workmanship and the Contractor shall take immediate steps to remedy such defects to the satisfaction of the Engineer's Representative.

32. Commencement of Works.-The Contractor shall commence the Works immediately on the award to him of the Contract and shall proceed with the same with due expedition and without delay except as may be expressly sanctioned or ordered by the Engineer or be wholly beyond the Contractor's control.

33. Possession of Site.-Immediately on the arrival of the Contractor in South Georgia the Employer will give to the Contractor possession of so much of the Site as may be required to enable the Contractor to commence and proceed with the construction of the Works.

34. Time for Completion.-The whole of the materials for the Works together with all necessary Constructional Plant shall be ready for despatch from the Contractor's Works in the United Kingdom in time for loading aboard a ship sailing from a United Kingdom port on or about the 1st December 1963 in accordance with shipping instructions to be issued by the Crown Agents. The whole of the Works shall be completed within the time stated in the Tender.

35. Delay in Completion.-If the Contractor shall fail to complete the Works within the time prescribed in Clause 34 hereof then he shall meet all additional costs and expenses incurred by him in completing the Works including any additional costs of transport of his employees from South Georgia to the United Kingdom.

36. Certificate of Completion of Works.-As soon as in the opinion of the Engineer's Representative the Works shall have satisfactorily passed any final test that may be prescribed by the Contract and shall have been completed in accordance with the Contract the Engineer's Representative shall issue to the Contractor a Certificate of Completion and sign inventories prepared by the Contractor to signify that the construction and furnishing of the building including all services installations furniture furnishings equipment and spares has been completed to his satisfaction

37. Maintenance.

(1) In these Conditions the expression "Period of Maintenance" shall mean a period of six months calculated from the date of completion of the Works as certified by the Engineer's Representative in accordance with Clause 36 hereof.

(2) To the intent that the Works shall comply in all respects with the Contract (fair wear and tear during the Period of Maintenance only excepted) the Contractor shall be responsible for and shall bear the cost of all work of repair amendment reconstruction rectification and making good of such defects imperfections shrinkages or other faults as may be notified to the Contractor in writing by the Engineer or the Engineer's Representative during the Period of Maintenance or within twenty-eight days after its expiration as a result of an inspection made by the Engineer's Representative prior to its expiration.

(3) The Contractor shall be entitled to withdraw all his labour from South Georgia after the issue of the Certificate of Completion as provided under Clause 36 hereof in which event the provisions of sub-clauses (4) and (5) of this Clause shall apply.

(4) The Employer shall whenever possible make arrangements on behalf of and at the expense of the Contractor for any such work to be carried out from resources available in

South Georgia provided always that except in respect of minor works the Employer shall first seek the agreement of the Contractor which shall not be unreasonably withheld as to the extent and method of execution of the work.

(5) If in the opinion of the Engineer the nature of the work required under sub-clause (2) of this Clause necessitates the return to South Georgia of any of the Contractor's employees then the Crown Agents shall utilise part or all of the Provisional Sum set aside in the Tender for that purpose to meet the cost of providing passages for such employees. The Contractor shall however meet all other expenses incurred in making good the defects.

38. Alterations, Additions and Omissions - The Engineer may by order in writing make any variation of the form, quality or quantity of the Works or any part thereof.

39. Valuation of Variations - The amount to be added to or deducted from the sum named in the Tender in respect of any additional work done or work omitted by order of the Engineer shall be assessed at the rates set out in the Tender if in the opinion of the Engineer the same shall be applicable. If the tender shall not contain rates applicable then the amount to be added or deducted shall be fixed by negotiation between the Engineer and the Contractor.

40. Claims - The Contractor shall send to the Engineer once in every two months a statement giving particulars (in full and detailed as possible) of all claims for any additional expense to which the Contractor may consider himself entitled and of all extra or additional work ordered by the Engineer which he has executed during the preceding two months and no future claim for payment for any such work will be considered which has not been included in such particulars. Provided always that the Engineer shall be entitled to authorise payment to be made for any such work notwithstanding the Contractor's failure to comply with this condition if the Contractor has at the earliest practicable opportunity notified the Engineer that he intends to make a claim for such work.

41. Property in Materials and Constructional Plant

(1) From the moment the materials and plant are delivered to the Ship's Master for carriage to South Georgia, all materials and Constructional Plant shall be deemed to become the property of the Employer.

(2) Upon the issue of the Certificate of Completion of the Works the Constructional Plant (excluding small tools and personal tools) shall be handed to the Engineer's Representative and the property therein shall thereafter be in the beneficial ownership of the Employer.

42. Use of Provisional Sums - The Provisional Sum or Sums included in the Tender shall be used only at the direction and discretion of the Engineer and if not used either wholly or in part shall as to the amount not used be deducted from the Contract Price.

43. Maintenance Certificate

(1) The Contract shall not be considered as complete until a Maintenance Certificate shall have been signed by the

Engineer's Representative stating that the Works have been completed and maintained to his satisfaction. The Maintenance Certificate shall be given by the Engineer's Representative within twenty-eight days of the expiration of the Period of Maintenance or as soon thereafter as any maintenance works pursuant to Clause 37 hereof shall have been completed to the satisfaction of the Engineer's Representative and full effect shall be given to this Clause notwithstanding any previous entry on the Works or the taking possession working or using thereof by the Government.

(2) The Employer shall not be liable to the Contractor for any matter or thing arising out of or in connection with the Contract or the execution of the Works unless the Contractor shall have made a claim in writing in respect thereof before the giving of the Maintenance Certificate under this Clause.

44. Payments.

(1) All payments under the Contract shall be made to the Contractor in London in sterling by the Crown Agents on behalf of the Employer or as otherwise agreed within 28 days of receipt by the Crown Agents of the appropriate shipping documents from the Contractor or of the appropriate certificate from the Engineer's Representative in South Georgia.

(2) Subject to any additions or deductions provided for under the Contract the Contractor shall be entitled to payment as follows:-

- (a) On despatch of materials and employees
95% of the f.o.b. value of materials
delivered f.o.b. in exchange for shipping
documents.
- (b) The balance of the Contract Price less 5%
retention on receipt by the Crown Agents
from the Contractor of the Certificate of
Completion.
- (c) The balance of the Contract Price on receipt
by the Crown Agents from the Contractor of
the Maintenance Certificate.

45. Default.

(1) Should the Works or any portion thereof not be delivered within the time or times specified in the Contract, the Crown Agents shall be at liberty without prejudice to any other remedy for breach of contract to determine the Contract either wholly or to the extent of such default.

(2) If the Contractor shall fail to perform the Works with due diligence and expedition or shall refuse or neglect to comply with any reasonable orders given to him by the Crown Agents or by the Engineer in respect of the Contract or shall contravene any provisions of the Contract, the Crown Agents or the Engineer may give notice to the Contractor to make good the said failure neglect or contravention. Should the Contractor fail to comply with the notice within a reasonable time from the date of service thereof the Crown Agents shall be at liberty without prejudice to any other remedy for breach of contract to determine the Contract either wholly or in part or to the extent of such default.

(3) The Crown Agents shall be at liberty to procure elsewhere other work of the same or similar description to make good any default or if the Contract be wholly determined the balance of the Works outstanding. If the cost to the Employer of making good the said default or of procuring elsewhere the balance of the Works outstanding shall exceed the Contract value of the part in default or undelivered the Contractor shall pay to the Employer the amount of such excess.

(4) Failure to deliver for shipment any of the materials and Constructional Plant within the time specified in the Contract will in addition to any other liabilities incurred by the Contractor under the Contract subject the Contractor to a deduction from the Contract Price, as and for liquidated damages and not as a penalty, of a sum equal to cancellation charges (if any) levied by the shipping company in respect of shipping space previously reserved by the Crown Agents for any such undelivered materials or Constructional Plant Provided Always that if it shall be proved to the satisfaction of the Crown Agents that any such delay had arisen from causes which were unavoidable and could not have been foreseen or overcome by the Contractor (including delay in the supply of materials to the Contractor due to causes which were unavoidable and could not have been foreseen or overcome by the manufacturers or vendors of such materials) and provided that notice of the anticipated delay had been given by the Contractor in writing to the Crown Agents as soon as he became aware that such delay might occur then the Crown Agents may in their absolute discretion decide the extent (if any) to which the deduction may be remitted but any deductions not so remitted shall remain in full force.

46. Arbitration.—All disputes, differences or questions between the parties to the Contract with respect to any matter or thing arising out of or relating to the Contract, other than a matter or thing as to which the decision of the Crown Agents is to be final and conclusive and except and in so far as may be otherwise provided in the Contract, shall be referred to the arbitration of two persons, one to be appointed by the Crown Agents and one by the Contractor, or their Umpire, in accordance with the provisions of the Arbitration Act, 1950.

47. Service of notices on Contractor.—Any notice to be given to the Contractor under the terms of the Contract shall be served by sending the same by post to the Contractor's principal place of business.

48. Sanitation.—The Contractor shall provide erect maintain and finally remove all necessary sanitary accommodation for persons employed in connection with the Works shall keep such accommodation in a proper and sanitary condition during the period of use and shall finally make good the sites thereof to the satisfaction of the Engineer's Representative.

49. First Aid.—The Contractor shall provide on the Site adequate and easily accessible First Aid outfits ~~XXXXXXXXXXXXXXXXXXXX~~
~~XXXXXXXXXXXXXXXXXXXX~~

50. No Variation of Price.—Except as provided in Clauses 38 and 39 hereof there will be no variation in the Contract Price as a result of any variation in the costs of materials consumable stores fuel power freight or insurance rates or in the rates of wages or allowance payable to or in respect of labour or as a result of any changes in conditions of employment of labour or as a result of the introduction or operation of any law statute or order.

51. Law of Contract.-The Contract shall be and shall be deemed to be an English Contract and shall accordingly be governed by and construed according to the laws for the time being in force in England.

BUNGALOW FOR ADMINISTRATIVE OFFICER

SPECIFICATION

1. Extent of Contract

The Contract is for the design of a Prefabricated Bungalow of about 2,400 sq.ft. floor area, its supply f.o.b. London suitably packed and bundled for shipment to South Georgia, taking delivery and moving to site and erection on stilts at a minimum clear height of 6ft. 0in. above ground level, in South Georgia at King Edward Point on a site adjacent to the Administrative Officer's existing Bungalow, the New Bungalow being on the North side of the access road. (See Drg. No. EC.14792). The design shall be in accordance with Drg. No. EC.14793A. The supply shall include all items listed in the Schedule A to approved patterns and samples. The erection shall include the excavation and preparation of foundations etc., drainage and main service connections for electricity, water and fuel oil to join up to existing supplies. The Contract shall also include taking delivery and moving to site all the furniture and fittings supplied by others as listed in Schedule B. The Bungalow shall be handed over at the completion of the Work in a state ready for immediate occupation.

2. Passages & Shipment of Materials

Passages for the Contractor's men will be arranged, from London, on a vessel which will also ship all the materials. Transport and insurance of the materials and the outward and inward passages for the men will be provided free of charge to the Contractor. The expected date of departure from London is early December 1963 and the return voyage will start from South Georgia at the end-March 1964.

3. Accommodation at Site

Accommodation up to a maximum of 9 men is available at a newly erected hostel known as New Discovery House which is about 300 yards from the Site. This accommodation includes all meals but not laundry service and will be provided free of charge to the Contractor.

4. Storage facilities, Plant & Tools

The following storage facilities, plant and tools are available in South Georgia and will be made available free of charge to the Contractor including fuel and oil, etc. The Contractor shall however provide fully competent operators for the various items of plant.

- a) 2 No. 40ft. x 15ft. plywood clad site huts complete with timber floor and sleeper base. One of these huts is provided with a plan chest and bench and two electric tea boilers and cabin utensils.

/ b)

- b) 1 No. Rubber tyred Diesel Tractor complete with bull dozer blade/shovel and rear end excavating bucket.
- c) 1 No. four-wheeled trailer of 1 Ton capacity.
- d) 1 No. petrol driven concrete mixer.
- e) 2 No. 3 ins. Diesel water pumps (diaphragm type) complete with 100 ft. of hose.
- f) 1 No. Lattice steel lifting mast complete with hand operated winch, ropes and slings.
- g) 12 No. Painters trestles and battons.
- h) 2 No. 36 ft. long aluminium ladders.
- i) 4 No. 15 ft. long " "
- j) 1 No. Steel shear legs and 5 cwt. chain block.
- k) 1 No. Toilet hut.
- l) Tarpaulins.
- m) 2 No. steel barrows (2-wheel tipping).

All other tools and equipment required for the work shall be provided by the Contractor.

5. Description of Site

A detailed description of the Site including maps, photographs, meteorological records etc. is available at the Crown Agents' office and may be borrowed by the Contractor.

6. Method of Construction

The Bungalow shall be mainly of prefabricated construction consisting of factory made concrete, timber and plywood and timber units. The whole design shall be such as to facilitate assembly and construction at site. It shall be carried on free standing concrete columns supporting the floor at a minimum clear height of 6 ft. above ground level. In deciding the extent of prefabrication at the Works before shipment the Contractor shall bear in mind that shipping costs are high, amounting to about £15 per ton weight or measurement. (1 ton = 40 cu.ft.)

7. General as to design

The structural design shall comply with British Standard Code of Practices - CP114 (1957), CP112 (1952), CP3 chapter V (1952), CP143 Part 1 (1958). The wind velocity for the design shall be 125 m.p.h. and the snow loading shall be taken at 40 lb. per sq.ft. of roof area, measured on plan. The roof slopes shall not be less than 30°. As an alternative a roof slope of 22.1/20 may be adopted but in this case the snow loading shall be taken at 60lbs. per sq.ft.

8. Crown Agents' Specifications

The following Crown Agents' Specifications shall apply:-

CAS. No. 3:	1954
CAS. No. 8:	1952
CAS. No. 10:	1956
CAS. No. 22:	1952
CAS. No. 41:	1954
CAS. No. 93:	1955

Packing of glass for shipment shall comply with Specification No. X21/7 dated June 1954. All other materials shall conform with the appropriate British Standard Specifications.

9. Excavation

Excavations for foundations shall be taken through the overlying peat, which varies in thickness from 2 - 4ft. for a depth of at least 6 ins. into the shingle sub-base. In any event foundation levels shall not be less than 3ft. below ground level.

10. Concrete

The Boiler Room and Basement Store shall be of concrete, reinforced if necessary. The concrete floor shall have a float finish. All concrete and mortar materials for site work shall be supplied, either ready mixed or separated for mixing at site. The materials shall be suitably packed so that their properties do not deteriorate in transit.

11. Thermal Insulation

The walls and floor shall incorporate suitable thermal insulating material to provide an average thermal conductivity ("u" value) not inferior to 0.1.

12. Windows

External windows shall be casement type provided with hermetically sealed double glazing units. They shall be accurately made in rust proofed metal in hard wood frames and shall be provided with renewable seals, and be suitable for use in a salt laden atmosphere. Top hung vents shall be provided in the bathrooms and W.C. A picture window shall be provided in the Drawing Room.

13. Doors and Door Furniture

Good quality flush doors shall be provided. External doors shall be of exterior quality, part glazed, and shall be designed to prevent the ingress of driving snow. They shall

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be provided with metal kicking plates on the outside. Door furniture shall be of good quality throughout and shall include all tracks etc. for the sliding doors. All doors shall be fitted with locks each with two keys. Two master keys capable of operating all door locks shall be supplied. Fixed fan lights of obscured glass shall be provided over all doors in the corridor.

14. External Canopies

External canopies shall be provided over external doors. Canopies and the roof to the Conservatory shall be designed for the same snow and wind loading as the main roof.

15. Conservatory

The Conservatory shall be of timber construction and have a clear internal eaves height of 6ft. The roof shall be of translucent glass fibre corrugated sheeting with eaves fillers and preformed flashings. The Conservatory shall be half glazed, the lower 2ft. 0in. shall be formed of concrete panels. The glazed part shall be fitted with top hung ventilators. Double glazing is not required. The floor shall be covered with P.V.C. tiles with cove skirting and shall be completely waterproof. Sufficient heating shall be provided to maintain the Conservatory frost-free.

16. Floors

The suspended floor shall be soundly constructed and the soffits of all floor joists shall be covered with flat asbestos sheeting or similar approved material. The flooring shall be tongued and grooved boarding or plywood panels or other approved material. The surface of all floors shall be covered as shown on Drg. No. EC.14793A i.e. either P.V.C. tiles or fitted carpet with under felt.

17. Roof Covering

The roof covering shall be corrugated or trough section aluminium sheeting complete with aluminium ridging, barge boards and flashings. Each roof slope shall be sheeted with single length sheets and be secured with corrosion free fastenings. Particular attention shall be paid to the adequacy of the fastenings and attention is drawn to Clause 11 B.S. CP3. Chapter V. The aluminium sheets shall be permanently coloured red on external faces.

18. External Finish

All external plywood facings shall be of B.S. WBP grade. Concrete panels shall be made from water proofed concrete with white or light colour aggregate to present a white finish.

19. Heating & System

A low pressure forced circulation hot water heating system shall be provided to maintain an even room temperature

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not less than 70°F with two air changes per hour. Two circulation pumps shall be provided, one for normal use, the other as a standby in case of breakdown. The boiler shall be gas-oil fired and shall be fitted with "Nu-Swift" burners. A steel flue pipe, insulated as necessary shall be supplied. The boiler shall be thermostatically controlled but thermostats calorifier shall be provided. A large capacity insulated shall be located under windows. Where possible all radiators in each bathroom and all radiators and towel rails shall be fitted with isolating valves.

20. Plumbing

Copper piping shall be used for all plumbing. Due regard shall be paid to the layout to avoid risk of freezing and all pipework which is exposed or liable to freezing shall be adequately lagged. The cold water storage tank shall have a capacity of 100 gallons. It shall be installed in the roof space and it and its connecting pipework shall be adequately lagged. An access trapdoor to the roof space shall be provided. A mains connection shall be made to the existing service main, and be buried 3ft. below ground level.

21. Sewage and Waste Water Disposal

All sewage and waste water shall be piped to manholes with suitable intervening traps with inspection covers. Manholes shall be provided at all junctions or changes of directions of drains except where above ground level. Inspection covers and rodding facilities shall be provided. The whole shall be carried away below ground level to a septic tanks of approximately 200 gallons capacity (with an outfall piped into the sea). Pitch fibre pipes may be used below ground level but C.I. pipes shall be used above ground level. All C.I. pipes, where exposed, shall be adequately lagged or protected against frost damage.

22. Electricity Supply

Provision shall be made for connection by means of under ground cable to the existing electricity power line, the cable being buried 2ft. 6ins. below ground level. The supply is 50 cycle 400/435 volts three phase and 200/240 volts single phase.

23. Fuel Supply

A storage tank for gas-oil, with heater if necessary shall be provided with a capacity for 7 days supply. It shall be connected to the existing supply line, the pipe line being buried at a depth of 2ft. 6 ins. below ground level.

24. Internal Finishes

The walls and ceiling of the Drawing Room shall be finished as described in Schedule A while the internal wall finishes to the Kitchen and Bathrooms shall be plastic faced wall board. Elsewhere, 1/2 in. thick plaster board shall be used finished with two coats of flat oil paint. Cove cornices shall be

/provided

provided in all ground floor rooms. The walls of the Boiler Room and Basement Store shall be covered with flat asbestos sheeting or similar approved material.

25. Painting

All softwood shall be primed and undercoated before leaving the Contractor's Works and site paint shall be supplied and applied as follows:-

Internal Timber - 2 coats of oil paint

External Timber - 3 " " " "

All hardwood shall receive 2 coats of an approved sealer at the site.

26. Drawings

If called upon to do so, the Contractor shall submit duplicate copies of drawings and calculations for approval before putting the work in hand. The Contractor will be required to supply, apart from any drawings he may require for his own purposes during erection, two paper prints and one transparent copy on linen of all drawings for record purposes. Drawings will be required to bear the title "SOUTH GEORGIA, ADMINISTRATIVE OFFICER'S HOUSE" also "Requisition No. South Georgia F.I.D. 270" but the Contractor's standard format for drawings will be accepted.

27. Schedule

A schedule or specification giving in reasonable detail exactly what it is intended to supply, shall also be included in the tender, together with duplicate copies of drawings illustrating the tenderer's proposals. The number of men it is proposed to send to the site to erect the bungalow shall also be stated.

The tenderer shall state the total cost of all the materials and constructional plant delivered f.o.b. London and shall also include a schedule of prices for the main items delivered F.O.B. London under headings such as:-

Building Carcase

Plant and Tackle

Electrical Installation

Central Heating Installation etc. etc.

The Tenderer shall also give a total price for the erection of all materials in South Georgia, including the installation of materials re-used from the existing bungalow. The installation of furniture and fittings supplied by others, shall also be included in the price quoted and a list of these items Schedule B is attached.

28. Spares

The Contractor shall include sufficient spare material

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to cover loss or damage in transit or at site. All surplus material shall become the property of the Government upon completion of the Contract.

29. Inspection

The Work during fabrication in the U.K. will be subject to inspection by the Engineer's Representative and shall include the packing and marking for shipment. The Work shall be packed to withstand rough handling in transit and packages shall be suitable for passage through the Tropics to and appropriate storage in the Antarctic. The Contractor shall be held responsible for the Work being packed so as to ensure as far as possible that it reaches its destination intact and undamaged. The Contractor shall provide and include in the Contract price the cost of all necessary packing cases (which shall be considered as non-returnable), material and labour. Packages containing dangerous goods shall be packed and marked in accordance with Ministry of Transport requirements and be specially indicated in the application for shipping instructions. In order to prove the accuracy of the workmanship, the Contractor shall lay out such parts as may be required by the Engineer's Representative.

BUNGALOW FOR ADMINISTRATIVE OFFICER,
SOUTH GEORGIA

Schedule of Furnishings, Fittings and
Equipment to be supplied by the Contractor

Drawing Room

Mock Fireplace of Simulated Brickwork or Stone, with Log Electric Fire.

Fitted Carpet.

Curtains (Lined)

Nylon Curtain Tracks with Pelnets.

Wall Lights in addition to Ceiling Lighting, complete with fittings.

Two Reading Lamps.

Bookshelves to be built in to two corners of Fireplace wall.

Windows, to be situated low enough for occupants to see out whilst sitting down.

Wall, plywood Panelled.

Ceiling, (Tiled "Cane Fibre" Type or Similar).

Guest Bedroom

Curtains (Lined, suggested colour - Grey with Yellow Rose design)

Nylon Curtain Tracks with Pelnets.

Fitted Carpet (Grey mottled white).

Walls and Paintwork - Grey and White.

Built-in Wardrobe with Shelf lengthwise, Hanging Rail and Cupboards over full length to Ceiling.

Guest Bathroom

Plastic Curtains, Nylon Curtain Tracks with Pelmet.

6' - 6" High Wall of Tiles or Laconite to obscure W.C.

Bath to be fitted against Wall.

Large heated Towel Rail incorporating Radiator to be fitted.

Facility for Drip-dry Washing required.

Cabinet with Mirror to be fitted next to Wash Basin.

Plastic seat and cover, toilet roll holder and clothes hook.

Hall and Corridor

Extra Hard wearing cheerful - colour fitted carpeting.

Porch

Bench Seats.

Clothes hooks for Outside Clothing.

Slatted Shelves for Pot Plants.

Dining Room

Lined Curtains (Tan or Grey in colour)

Nylon Curtain Tracks with Pelmets.

Fitted Carpet (Tan or Grey).

Linen Store

Slatted Timber Shelves all round (up to Ceiling).

Dry Store

Timber Shelves (up to Ceiling).

Kitchen

Matching Cabinets with open shelves alongside, against wall nearest door.

China Cupboard.

Glassware Cupboard.

Broom Cupboard.

} On Inner Wall.

Large size Electric Cooker - with four fast-boiling rings (sealed to hob to prevent boiled-over food falling through), heated plate drawer.

Large size Refrigerator suitable for several weeks' supply of meat etc.

Curtains (Grey and White in colour with touches of Turquoise Blue).

Nylon Curtain Tracks with Pelmets.

Venetian blinds on windows facing north.

Grey, washable floor tiles with coved skirting.

One base Cabinet - Cat.No. BC 36/42 colour Cream) from Leisure

One wall Cabinet - " " BC 27/42 " " } Kitchen Equipt.

Long Eaton.

All working tops covered with scarlet red soft glow Formica (to match new and existing Cabinets).

Open Shelves on wall alongside door.

Install existing Sink Units.

Office

Bench seat with coat hooks over outside in Corridor.
 Curtains (Tan or Yellow in colour).
 Nylon Curtain Tracks with Pelnets.

W.C. near Office

Plastic Curtains.
 Nylon Curtain Tracks with Pelmet.
 Plastic seat and cover, toilet roll holder and clothes hook.

Boiler RoomBasement Store

Slatted shelves all round, floor to ceiling.

Coats Cupboard

Hanging Rail.
 Hooks all round.
 Shelf over.

Electrical Fittings

Adequate Ceiling Lighting points to all rooms and corridors, complete with suitable fittings, wall lights in Drawing and Morning Rooms. Lamp Shades and bulbs to be provided throughout.

Power Points:-

Drawing Room (5), One either side of Fireplace, one either side of Door, one between Windows.

Guest Bedroom (3) Two on corridor Wall, one on Window Wall.

Main Bedroom (3) " " " " " " " "

Office (1) One on inner wall.

Morning Room (3) One under knee-hole working top, one for plug-in electric fire, one on inner wall.

Dining Room (3)

Kitchen (4-5) Positions to suit fitments.

Hall and Corridor (3) One in Hall, Two in Corridor.

Electric Bell push to be provided in the following rooms with indicator panel in Kitchen:-

Dining Room, Morning Room, Drawing Room, Office, Goods Entrance and Main Entrance.

● Outside Lighting to be provided at Main and Goods Entrances and Outside Entrance to Boiler Room and Store.

15th August, 1963.

Dear Sirs,

Proposed New Bungalow for Administrative
Officer, South Georgia.

We refer to Mr. McFadyen's visit to this office on Monday 29th July, 1963, and, as arranged, now invite you to submit a firm tender for this project, in accordance with :-

- (a) Drawings Nos. SO.14792 and SO.14793.
- (b) The Specification, Schedules and Conditions of Contract.
- (c) The terms of this letter.

To enable you to commence to prepare your tender, preliminary copies of the above documents were handed to Mr. McFadyen, together with copies of relevant Crown Agents' Specifications. The Specification, Schedules and Conditions of Contract enclosed supersede the earlier copies. The drawings and Crown Agents' Specifications already provided are however still applicable.

The information listed in the Specification under clause 5 "Description of Site", is contained in a book which was also handed to Mr. McFadyen, and which should be returned as soon as convenient.

Clauses 8 and 9 of the Conditions of Contract as printed are not applicable, the following being substituted:-

7. Drawings. The Contractor shall provide at his own expense all drawings required in the manufacture and erection of the works and also those required to be supplied under the Specification.
9. Inspection of Site. For the preparation of his tender the Contractor who will not have visited the site shall be deemed to have assessed the conditions at site by taking into account all information reasonably obtainable by him in the United Kingdom including that contained in or reasonably to be inferred from the tender documents. If the actual conditions at site vary substantially from such conditions the Contractor after first obtaining approval of the Engineer's Representative shall vary the works accordingly and the value of such variations shall be calculated in accordance with Clause 17 hereof.

/The

Dorran Construction Ltd.,
Dorran Works,
142TH,
Footland.

The following addition shall be made to clause 24 (2) of the Conditions of Contract :-

The Contractor shall be responsible for the care of such plant but not for repairs arising from its proper use.

A. The additional clause shall be added at the end of the Conditions of Contract as follows :-

52. Personal Liability. The Crown Agents enter into this Contract in their official capacity of Crown Agents for Overseas Governments and Administrations and as agents for the purpose of binding the Employer, and neither the Crown Agents nor any of their servants nor any of the servants of the Employer shall be required to accept any personal liability for or in respect of any matter or thing hereby made obligatory on the Crown Agents or on the Employer.

In view of a general undertaking as to the export of goods given by the Crown Agents to the Commissioners of Customs and Excise, goods are to be supplied free of purchase tax. This applies however only to goods supplied by firms who are registered with the Customs and Excise Department for purchase tax purposes.

The provisional sum referred to in Clause 37 (5) of the Conditions of Contract, shall be taken as £1,000 and shall be included in your tender.


A bond in the sum of £5,000 will be required, and your price shall include for it. The tender shall include the name of the bank or insurance company who have agreed to act as bondsmen. A copy of the form of bond normally employed for works of this type and which it is proposed to use in this instance is enclosed herewith for your reference.

To enable an estimate of the shipping costs to be made, an accurate as possible shipping specification must be provided with your tender.

Your tender should reach this office as soon as possible but not later than Friday the 30th August, 1963, and should include one copy each of this Letter of Invitation, the Specification, Conditions of Contract, Schedules A and B and Orgs. Nos. SC.14792 and SC.14793. Two copies of these documents are therefore enclosed, one being for your retention.

Any further information required will be supplied in response to your request and if desired, a further meeting can be arranged at this office.

Yours faithfully,


for the Crown Agents.

21st August, 1963.

Dear Sirs,

Proposed new Bungalow for Administrative Officer -
South Georgia.

Further to our letter of 15th August, 1963, we enclose duplicate copies of Drawing No. EC.14793A. This drawing incorporates certain minor amendments which have subsequently been found to be necessary. They concern mainly the provision of bench seats in the Porch and outside the Office, slatted shelves in the Store, the repositioning of the door in the corridor, and the provision of 4 ft. high galvanised chain link fencing with an access gate required to prevent seals wallowing beneath the bungalow. Slatted shelves for pot plants have also been added to the Porch.

The following additions to the electrical installation should also be incorporated. They are :-

- 1) Electric bell pushes to be provided in the Dining, Morning, and Drawing Rooms, Office, Goods and Main Entrance, with an Indicator Panel in the Kitchen.
- 2) Outside lighting to be provided at the main and Goods Entrances, and at the entrance to the Boiler room and Store.

Amended copies of Sheet A.5 of Schedule "A" incorporating these requirements are enclosed.

You are also asked to include in your tender for stripping the vegetation surrounding the bungalow to an extent of 10 ft. and surfacing with loose shingle to a depth of 2", and providing a 3 ft. shingle path from the bungalow to the access road.

Would you please note that the Aluminium Roofing Sheets should be coloured red and not white, as specified in Clause 17 of the Specification.

Please also allow for Venetian Blinds to the two N facing kitchen windows.

Yours faithfully,

R. L. WEAVER

for the Crown Agents.

Messrs. Dorran Construction Ltd.,
Construction Works,
PERTH,
Scotland.

SECRETARY MRS E. BROWN
CONSULTANT ARCHITECT D. T. BROWN, A.R.B.A., A.R.I.A.S.
A. P. MCGRAY
G. McFADYEN

DORRAN

CONSTRUCTION LIMITED PERTH • SCOTLAND

Your Ref:
EC3/South Georgia
S.I.D. 270.

REGD OFFICE DORRAN WORKS PERTH TEL PERTH 2297 4 LINES
GLASGOW OFFICE 146 WEST REGENT ST C2 TEL CITY 7271

In Reply Please Quote Job No.

29th. August, 1963.

The Crown Agents,
4, Millbank,
London, S.W.1.

Dear Sirs,

Proposed new Bungalow for Administrative Office in,
South Georgia.

As requested we now have pleasure in tendering for the above. We estimate that we can erect the building, all in accordance with your detailed specification and terms of contract, and incorporating the minor amendments referred to in your letter of 21st. August, 1963, for the sum of £24,382 (Twenty four thousand, three hundred and eight two pounds).

Please note this figure includes a P.C. sum of £1,000 as required in your terms of contract, also that in arriving at our price for labour, we have assumed a pay rise of 10%, to be effective throughout the period in question.

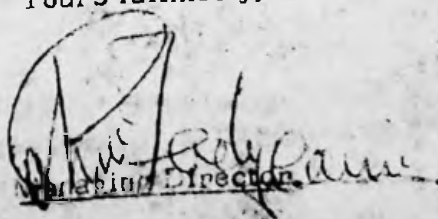
Along with other enclosures requested by you, we forward two sets of our Drawing No. 3364, showing plan and elevations of the building. Mr. Brown, our Architect, is preparing further drawings of details which we will forward to you as soon as possible.

With regard to the shipping specification, this matter has been placed in the hands of a local firm of surveyors, who have not so far had the working drawings long enough to enable them to complete the task, but again we will let you have the shipping specification as soon as possible.

For your information, the £5,000 Bond required for this contract will be provided by either the Bank of Scotland or the Alliance Assurance Co. Ltd.

As mentioned in our letter to you of 23rd. August, Mr. Brown, our Architect, and myself, will be in London on Wednesday, 11th. September, and would be glad to discuss the matter further with you, if convenient, preferably some time during the morning.

Yours faithfully,


Managing Director

DORRAN'S
GENERAL SPECIFICATION
x

PROPOSED BUNGALOW FOR ADMINISTRATIVE OFFICER,

SOUTH GEORGIA

General.

The structural design shall comply with British Standard Codes of Practice - C P 114 (1957), C P 112 (1952), C P 3 Chapter V (1952), C P 143 Part 1 (1958). The wind velocity for the design shall be 125 m.p.h. and the snow loading 60 lbs. per sq. ft. (Roof slope $22\frac{1}{2}^{\circ}$).

Where applicable the work will be carried out in accordance with Crown Agents' Specifications No. 3 1954, No. 8 1952, No. 10 1956, No. 22 1952; No. 41 1954, No. 93 1955.

Excavations

Excavations for foundations shall be through the over lying peat which varies in thickness from 2'0" to 4'0" for a depth of at least 6" into shingle sub-base as indicated on plans.

Sand and Aggregate

Sand and aggregate to be that obtained on site.

Cement

The cement shall be Portland cement (B.S.12) or equal and it shall be stored or maintained under dry conditions.

Water

Only clean fresh water shall be used.

Concrete

Concrete for foundations and basement floor shall be composed of one part cement, two parts sand and four parts aggregate to pass a $1\frac{1}{2}$ " ring.

Structural Concrete

Reinforced concrete columns and beams to sub-structure will be in accordance with specialist Contractor's detailed specification.

Damp proof course to walls

To be bitumen damp-proof course weighing not less than 7 lbs. per square yard and to B.S. 741, to overlap 3" at all joinings and carefully set and bedded in mortar on walls.

Concrete Solum to Basement Floor

A concrete solum (1-3-6) and 3" thick will be provided under Basement and prepared on top for damp-proof sheeting.

Damp-proof Sheeting

To be bitumen damp-proof sheeting weighing not less than 7 lbs. per square yard and to B.S. 743 overlapped 3" and fused with blowlamp at all joinings. Wall damp-course to have 3" lap with floor damp-proof sheeting.

Concrete Sub-Floor to Basement

Concrete sub-floor to be 4" thick with 1" thick cement screed (1-3) finished off the wood float. B.R.C. No. 9 Fabric Reinforcement to be placed in 4" concrete if necessary.

Dorran Kerb Course

To be composed of precast reinforced concrete of one part cement two parts sand and four parts ~~1/2 inch chips, as specified~~ aggregate, having waterproofed cement where exposed and

all necessary reinforcing with two 3/16" diameter reinforcing rods. All exposed surfaces to be finished smooth with sharp arrises.

Rock Fireplace

A rock fireplace to Architect's detail will be provided in Drawing Room.

Drainage Under Ground Level

Pipes for drainage under ground level shall be "Pitch Impregnated Drain and Sewer Pipes" to the requirements of B.S. 2760 and marked with the "Kite" Mark of the British Standards Institution.

All pipes shall be laid true to grade and in straight lines (except where shown on the drawings) and in accordance with Appendix C of B.S. 2760: (minimum depth 2'6" below ground level).

Any over-excavation below invert level, or soft spots, shall be filled and consolidated with stone-free material, ashes or broken clinker before drain laying commences.

Pipes shall be laid without concrete direct on the boxed trench bottom and supported uniformly for their full length. They shall be backfilled after testing in accordance with Clause 42 of "Code of Practice 301:1950 Building Drainage".

The prefabrication of pipelines will only be allowed where firm trench bottoms are obtained and no levelling bricks, boulders or planks to support the pipe will be allowed under any conditions. Pipes will not be laid on slushy bottoms or where there is danger of trench bottom being washed away before trenches can be backfilled. In stony ground or rock where it is necessary to overdig, pipes shall be laid on three inches depth of properly consolidated stone-free material.

Straight access pipes and access branches will be cast iron to B.S. 1130. All other fittings will be pitch fibre.

Drainage Above Ground Level

Pipes for drainage above ground level shall be cast iron pipes conforming to B.S. 1211 and shall be either B. Access fittings in manholes shall be cast iron to B.S. 1130. All exposed cast iron piping above ground level shall be adequately encased with 'Poron' or other equal and approved lagging.

Manholes

Manholes shall be solid brick built, heads and joints of brickwork shall be completely filled with mortar as the bricks are laid. Manhole covers shall be 5" thick precast reinforced concrete slabs unless otherwise requested.

Septic Tank

Build septic tank approximately 6'0" x 3'0" x 4'0" deep (inside sizes) of 9" brickwork, cement rendered internally and fluted externally, including 9" concrete side laid to falls, 4" fireclay inlet and outlet pipes, 4" concrete sectional reinforced covers, including excavations, etc., complete with outfall piped into sea to below low water level.

External Walls and Gables of House (excluding Conservatory)

All external walls and gables to be of 'Dorran' vibrated reinforced precast concrete wall units in suitable widths and in heights of 9'4", reinforced with wire fabric to B.S. 1221.

The unit formed with a 1 1/2" thick reinforced pre-cast concrete facing with exposed white aggregate (as selected). The back of the concrete slab having a vertical layer of bitumen felt, weighing not less than 40 lbs. per 12 square yards; the internal surface of the slabs to have morticed and tenoned timber grounds previously treated with approved B.R.S. Preservation Solution fixed to slab reinforcement with steel hook and all factory produced to form a single permanent wall unit. The joints of external face of walls to be made as details, and the joints made perfectly wind and water tight with Parocaulk 1107 and P.V.C. strip.

The walls generally are lined internally with 1/2" thick plasterboard and insulated with 1 1/2" thick 'Poron' slab. (Internal wall finish to Kitchen and Bathroom to be 1/2" plastic faced wallboard and outer walls of Boiler Room and Basement Store to be lined with 1" 'Poron' and 1/2" asbestos cement flat sheeting).

Internal Walls of Conservatory

'Dorran' units as before described in heights of 2'0" to lower part of Conservatory walls (upper part glazed).

Internal Partitions

All internal partitions to be precision manufactured with grooved, tongued and trimmed timber framing $1\frac{1}{2}"$ x $1\frac{1}{2}"$ at centres to suit plasterboard and all properly covered on each face with $\frac{1}{2}"$ thick plasterboard and having sandwich insulation of $\frac{1}{2}"$ thick 'Poron'.

Main Roof

The main roof shall have gable ends and be of Dorran manufacture and construction (with the exception of aluminium roofing). Each pair of rafters will be framed and braced to the ceiling joists in the form of a truss and trusses will be at 2'0" centres with double trusses used at 4'0" centres. The roof will incorporate (4) $10" \times 2"$ and be secured with the normal anchorage ties will be fitted to the roof trusses. The roof shall be covered with $\frac{1}{2}"$ thick 'Cyproc' boarding and 'Dufflex' reinforced roofing felt of 3.2, 7.7, weighing 6 lbs. per 24 yd. roll.

Aluminium roof covering with all necessary trims will be obtained from an approved manufacturer and fixed in accordance with their instructions.

Eaves to be formed with $6\frac{1}{2}" \times 1"$ fascia and soffit lined with $1"$ boarding and having $2" \times 1"$ cover board.

Verge to be formed with $6" \times 1"$ barge board.

Conservatory Roof

The Conservatory roof shall have $4" \times 2"$ dressed timber bearers covered with 6 oz. 'Pilon' or other equal and approved translucent glass fibre corrugated sheeting secured in accordance with Maker's instructions.

Suspended Floors

Suspended floor comprising $5" \times 3"$ main joists at 4'0" centres, $5" \times 2"$ intermediate joists at 16" centres. The flooring shall be $1"$ "Novaboard" flooring in $3'0" \times 4'0"$ panels. Insulation to floor will be $1"$ 'Poron' slab inserted between joists. Soffit of floor joists shall be clad with $\frac{1}{2}"$ flat asbestos cement sheeting, screwed to joists.

A steel angle $2" \times 2" \times \frac{1}{4}"$ shall be secured to underside of joists, etc. round perimeter of basement ceiling.

House Ceiling

House ceiling shall have $\frac{1}{2}"$ plasterboard fixed to underside of ceiling ties (no insulation).

All rooms on Ground Floor shall have $3\frac{1}{4}" \times 3\frac{1}{4}"$ 'Cyproc' Cove (5" girth) at ceilings.

External Doors

External doors will be $1\frac{1}{2}"$ thick part glazed flush exterior quality plywood doors with hardwood lipping all round and hardwood weather moulding otherwise as B.S. 459 part 2.

Interior Doors

All interior doors will be $1\frac{1}{2}"$ flush plywood doors lipped on two stiles otherwise as B.S. 459 part 2. Fixed fanlights of obscured glass over all doors in corridor.

House Windows Generally

All House Windows generally (excluding Lounge Window) will be dressed Agba R.J.M.A. type double casement windows comprising $6\frac{3}{4}" \times 3"$ weather checked, grooved and throated sill, $5\frac{1}{4}" \times 3"$ checked, splayed, channelled and throated side frames, $6\frac{3}{4}" \times 3"$ checked, splayed, channelled and throated head frame with $2\frac{1}{4}" \times 1"$ weathered, checked and throated head drip, $3\frac{3}{4}" \times 2\frac{1}{4}"$ double checked, double splayed, channelled and throated transoms. $1\frac{1}{2}"$ bound outer top and bottom opening sashes each prepared for

normal/

normal glazing in (1) pane and 2" x $\frac{1}{4}$ " tongued drip to bottom rail of top sash, 1" bound inner top and bottom sashes each prepared for normal glazing in (1) pane. Weather strip to be provided all round between inner sashes and outer frames.

Lounge Window

The Lounge Window will be a 'picture' window comprising (1) Pilkington double glazing unit with dressed Agba frames.

Conservatory Windows

Windows to three sides of Conservatory to be dressed Agba E.J.M.A. type casement windows each with 1 $\frac{1}{2}$ " bound top hung opening sash prepared for normal glazing in (1) pane.

Pelmets to Windows

Plywood pelmets will be supplied and fixed to all windows if required.

External Stairs

Three external stairs with landings open treads and open balustrades will be formed with hardwood and metal to Architect's details.

Internal Stairs from Basement to Ground Floor

Staircase to be of softwood. Stringers 2 $\frac{1}{2}$ " x 1 $\frac{1}{2}$ " raggled and wedged for steps. Steps to be 2 $\frac{1}{2}$ " long clear between stringers having all necessary blockings, wedges, groovings, checkings and housings to Architect's detail.

Ironmongery

All entrance doors will be fitted with mortice locks (two keys), B.M.A. oval furniture outside and inside, B.M.A. kicking plates on outside and hung on good quality steel butt hinges. Main Entrance Door to have additional ironmongery comprising B.M.A. combined knocker and postal letter plate and cylinder lock with two keys.

Internal hinged doors will be fitted with mortice locks (two keys) and B.M.A. lever furniture and hung on good quality steel butt hinges.

Internal sliding doors will be fitted with light overhead sliding gear of an approved make and patent mortice locks (two keys). Plywood pelmets to tracks over sliding doors will be supplied and fixed if required.

Two master keys will be supplied.

Casement sashes of windows will be fitted with B.M.A. casement stays and B.M.A. casement fasteners, and steel butt hinges.

Joinery Finishes

Shelving in Dry Goods to be $\frac{1}{2}$ " thick, supported on fillets. Linen Cupboard shelving to be of 1 $\frac{1}{2}$ " x $\frac{1}{2}$ " dressed spars placed 1" apart, supported on fillets.

Bedroom wardrobe shelving to be of $\frac{1}{2}$ " softwood and supported on fillets.

Skirtings to be of 3 $\frac{1}{2}$ " x $\frac{1}{2}$ " rounded on edge.

Ceiling hatch to roof to be of plywood with backbars ingoe plates and facings.

GLAZIER WORK

Glass. Glass shall comply in all respects with B.S. 952.

Putty. Putty on wood sashes shall be linseed oil putty, to B.S. 544 Type 1.

Glazing. Double glazing unit glazed with $\frac{1}{4}$ " plate glass.

Windows in bathrooms and toilet to be glazed with obscured glass. Other windows to be glazed with 18 oz. clear sheet glass in panes under 2 ft. suppl. and 24 oz. clear sheet glass in panes exceeding 2 ft. suppl.

Conservatory windows to be glazed with 32 oz. clear sheet glass.

Entrance doors to be glazed with obscured glass having slip beads.

Fanlights over doors in corridor to be glazed with 24 oz. clear sheet glass.

PLUMBER WORK

General:- All plumbing to be kept internal and adequately insulated with approved lagging. A connection will be made to the existing main water supply pipe and a branch supply pipe in cast iron will be laid below frost level to new house.

A 100 gallon galvanised steel storage tank to B.S. 417 will be installed in roof space.

Service piping will be $\frac{1}{2}$ " and $\frac{3}{4}$ " diameter copper piping conforming to B.S. 659. Brass fittings will be 'Securex' or other equal and approved screwed compression type fittings.

Internal waste pipes from sanitary fittings to outlet pipe shall be of copper to B.S. 659. Bath $1\frac{1}{2}$ " diameter, Lavatory basin $1\frac{1}{2}$ ". Traps shall be of brass and shall have cleaning screws.

Sink Unit

Sink Unit will be 'Leisure' or other equal and approved twin bowl stainless steel with cabinet unit to match Kitchen Fittings.

Taps will be $\frac{1}{2}$ " high body chromium plated inclined pillar taps.

W.C.'s

W.C.'s shall be fireclay washdown closets (white) with seat extension, bakelite seat having rubber buffers to B.S.S. No. 1254, "S" trap, 3 gallon white fireclay low down cistern with siphonic action, complete with ballcock, $1\frac{1}{2}$ " flush pipe and overflow discharging externally. Closets and flushing cisterns shall conform in all other respects with B.S.S. No. 1125 and 1213 respectively.

Baths

Baths to be cast iron (Vogue pattern) having a rectangular top of size 5'6" x 2'4 $\frac{1}{2}$ " and having acid resisting glass enamel finish (standard colour - white). Panelled on side and end with black panelling and fitted complete with $\frac{1}{2}$ " chromium plated pillar taps and chromium plated outlet grating.

Lavatory Basin

Lavatory basin shall be fireclay (white). Over-all size 29" x 19" x 10" having combined overflow and support by means of white fireclay pedestal. Fitted complete with $\frac{1}{2}$ " chromium plated taps and chromium plated grating.

HEATING AND WATER SUPPLY TAPS

All to be in accordance with Clauses 19 and 23 of Specification.

ELECTRICAL WORK

The whole of the work shall be carried out in accordance with the requirements of the latest edition of the Regulations for the Institute of Electric Engineers.

The installation provides for lighting and switch points and 13 amp. heating plug points.

The lighting and power installations will be of B.S.S. Cable complying with B.S.S. No. 7 and of Dorran Octopus wiring as designed by Dorran Construction Limited.

Pendants

Pendants shall consist of ivory bakelite ceiling rose and bakelite holder and short length of 25/.0076 flexible cord.

Switches, Plugs, etc.

Switches shall be of ivory bakelite "all-insulated" pattern. Plugs and sockets with earthing connections shall comply with B.S. 346 and shall be of the 3 pin type.

Electrical distribution all as per separate details.

PAINTER WORK

All softwood shall be primed and undercoated before leaving 'Dorran' Works and treatment on site shall be as follows:-

Internal Timber - 2 coats Oil Paint.

External Timber - 3 coats Oil Paint.

All hardwood shall receive 2 coats of an approved sealer at the site.

DORRAN

CONSTRUCTION LIMITED PERTH • SCOTLAND

REGD. OFFICE DORRAN WORKS PERTH TEL PERTH 2297 4 LINES
GLASGOW OFFICE 146 WEST REGENT ST. C.2 TEL CITY 7271

Your Ref:

EC3/South Georgia

R.I.D. 270.

In Reply Please Quote Job No. ...

17th. September, 1963.

The Crown Agents,
4, Millbank,
London, S.W.1.

Dear Sirs,

Proposed new Run, allow for Administrative Officer,
South Georgia.

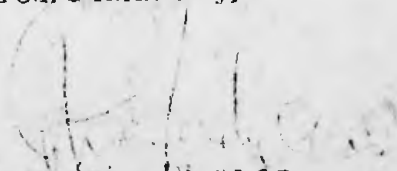
Further to our recent meeting and telephone conversation of this afternoon with Mr. Weaver, we are glad to say that we are now in a position to give you a reasonable estimate of the shipping load involved.

We estimate that, including for all items except those mentioned in your Schedule B, the total dead load will amount to 220 tons, and that the volume will be 11,000 cubic feet, or 275 shipping tons.

We regret that we are still unable to give our amended quotation arising out of matters discussed at our last meeting, in particular because we still await the cost of supplying Pilkington's double glazed units in lieu of our original suggestion, and also we have still to await a price for the aluminium roofing finished red in colour. Both of these prices have been promised within the next day or so, and we shall write you again as soon as possible.

Meanwhile, we would like to repeat that if Captain Coleman were prepared to accept a similar area of conservatory at basement level facing North, thus eliminating the stairway and projection on the present North elevation, the structure as a whole would be improved and there would be an over-all saving of £430.

Yours faithfully,


Managing Director.

EC3/South Georgia F.I.D. 270.

20th September, 1963.

Dear Sirs,

Proposed new Bungalow for Administrative Officer,
South Georgia.

We acknowledge receipt of your letter dated the 17th September, and note your estimate of the shipping specification.

We are very disappointed that after the submission of your firm tender, you now wish to increase your price. Your tender price formed the basis of an overall estimate which was submitted to the Colonial Office who have now made available the necessary funds. The extent of your price increase, as explained to you during the recent meeting, will affect the decision as to whether or not the scheme can go ahead. Your revised tender should be set out as called for in Clause 27 of our Specification, giving a detailed breakdown in price. You should also give the alternative price resulting from your suggested re-location of the Conservatory. We note that the £430 saving quoted in your letter compares unfavourably with the £900 which you confidently estimated as the saving during our meeting.

Please state how soon you would require the order to be placed with you, so as to enable you to effect completion and delivery to the London Docks by the 1st December, 1963.

With reference to your "General Specification" which you left with the writer during the meeting, we have the following comments to make to bring it into line with the requirements of our Specification:-

Excavations.

Add "Foundation Levels shall be at a minimum depth of 3ft below ground level."

Sand & Aggregate.

All Sand and Aggregate is to be supplied by you. That available at site is not suitable.

House Windows Generally.

Amend to suit "Pilkington's Sealed Double Glazing Units.

Yours faithfully,

RLW
for the Crown Agents.

Messrs. Dorran Construction Limited.,
PERTH,
SCOTLAND.

DORRAN**CONSTRUCTION LIMITED**
PERTH • SCOTLANDREGD OFFICE DORRAN WORKS PERTH TEL PERTH 2297 4 LINES
GLASGOW OFFICE 146 WEST REGENT ST C 2 TEL CITY 7271

Your Ref:

In Reply Please Quote Job No.

EC3/South Georgia F.I.D. 270.

24th September, 1963.

Crown Agents,
4, Millbank,
London, S.W.1.

Dear Sirs,

Proposed New Bungalow for Administrative Officer,
South Georgia.

We wish to acknowledge receipt of your letter of 4th September and we have noted the amendments which you require to our General Specification.

We are pleased to be able to say that since our last meeting with you in London, when it appeared that it might be necessary to increase our price, we have received tenders for certain other items which off-set the increase which might have been necessitated by the cost of the reinforced concrete sub-structure. The result of this is that we are prepared to allow our quotation of 29th August, amounting to £24,382 (Twentyfour thousand three hundred and eighty two pounds) to stand, apart from an increase of £150 (One hundred and fifty pounds) covering the additional cost of supplying a flagstaff, complete with stays, tabernacle and fixings, and two additional casement windows in the lounge.

We confirm that our offer includes for Pilkington Sealed double glazing units throughout in lieu of the windows originally specified. We will forward the break-down of our offer in terms of Clause 27 of your Specification in the course of the next few days.

In writing, we wish to express our regret that a misunderstanding should have arisen over the question of the conservatory. We understood ourselves to have said that the cost of this item amounted to approximately £900, whereas you understood us to say that the cost of replacing the conservatory beneath the main floor would produce a saving of £900. We wish to confirm that our Architect is a little apprehensive of the satisfactory performance of such a light-weight roof in the conditions envisaged, and that he would be very much happier if the latter alternative were adopted, and that this would in fact produce a saving of £430 as previously stated.

From examination of your site plan it is not entirely clear to us which is the underground cable to which we are to connect. At present we estimate the amount of underground cable to be laid from the house to the existing supply to be approximately 60 ft. Perhaps you would be kind enough to confirm whether or not this is correct, when acknowledging this letter.

Meanwhile/

GENERAL CONTRACTORS AND PRODUCERS OF PERMANENT FACTORY MADE HOUSES AND BUILDINGS

DORRAN

CONSTRUCTION LIMITED **PERTH • SCOTLAND**

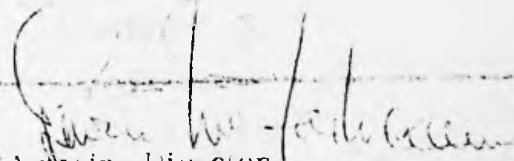
REGD. OFFICE: DORRAN WORKS, PERTH, TEL. PERTH 2297 4 LINES
GLASGOW OFFICE: 146 WEST REGENT ST. C.2, TEL. CITY 7271

In Reply Please Quote Job No.

-2-

Meanwhile it is necessary to state that a final decision must be taken by the end of this month if we are to undertake a delivery to London Locks by 1st December, 1963. We have, in fact, already, and at our own risk, ordered the hardwood for windows, external stairs, etc., and we understand from British Aluminium, who will be supplying the roofing, that it would be wise to allow 8 weeks for delivery of this item, since it is to be coloured red. In the circumstances, we would appreciate an indication of your acceptance of this offer at the very earliest.

Yours faithfully,


Managing Director.

EC3/South Georgia P.T.D. 270/1

26th September, 1963.

Dear Sirs,

Bungalow for Administrative Officer:
South Georgia

We refer to your tender dated 29th August, 1963 as amended by your letter dated 24th September for the supply and erection of the Bungalow for 224,532.

We confirm that we will be sending you a formal acceptance within the next few days but that in the meantime, you should regard this letter as full authority for you to proceed with all arrangements necessary to enable you to complete and deliver the materials to London Docks by 22nd November, 1963, this being the amended date agreed over the telephone today.

Please acknowledge receipt of this letter and confirm that you are proceeding accordingly.

Yours faithfully,

for the Crown Agents.

Messrs Dorran Construction Ltd.,
PERTH,
Scotland.

WW/SK

DIRECTORS: H. R. FERDINANDO (CHAIRMAN)
SECRETARY: Mrs. E. BROWN

H. B. BRASSEY A. P. MORAY G. McFADYEAN
CONSULTANT ARCHITECT: D. T. BROWN, A.R.I.B.A., A.R.I.A.S.

DORRAN CONSTRUCTION LIMITED

PERTH SCOTLAND

Our ref: GME/CRS.

Your ref: 103/South Georgia/
P.I.D 270/1.

REGD. OFFICE: DORRAN WORKS, PERTH. TEL: PERTH 23161 (4 Lines)
GLASGOW OFFICE: 146 WEST REGENT ST., C2. TEL: CITY 5375

In Reply Please Quote Job No.

Crown Agents for
Oversea Governments and Administrations,
4, Millbank,
London S.W.1.

27th September, 1963.

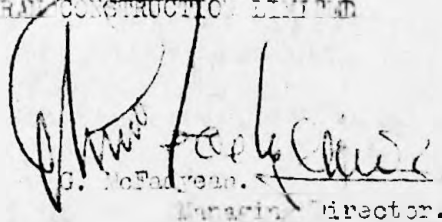
Dear Sirs,

Bungalow for Administrative Officer, South Georgia.

We wish to acknowledge receipt of your letter of the 26th September, 1963, and are pleased to note that you will accept our offer dated 24th September for the supply and erection of the bungalow for the sum of £24,532.

We note that you will be forwarding the formal acceptance within the next few days and, in the meanwhile, we wish to confirm that we are taking the necessary steps to enable delivery to be made to London Dock by 22nd November, 1963.

Yours faithfully,
for DORRAN CONSTRUCTION LIMITED


G. McFadyean.
Managing Director.

GENERAL CONTRACTORS AND PRODUCERS OF PERMANENT FACTORY MADE HOUSES AND BUILDINGS

CROWN AGENTS

FOR OVERSEA GOVERNMENTS AND ADMINISTRATIONS

1963/South Georgia F.I.D. 270/1

TELEGRAMS { ISLAND: "CROWN, S.WEST, LONDON."
OVERSEA: "CROWN, LONDON."

TELEPHONE: ARREY-7730

TELEX NO 24209

4. MILLBANK.

LONDON, S.W.1.

1st October, 1963.

Dear Sir,

Bungalow for Administrative Officer
South Georgia

The Crown Agents acting for and on behalf of the Government of the Falkland Islands as their duly authorised Agents, in confirmation of the letter of Intent dated 26th September, 1963, accept your Tender dated 29th August, 1963, as amended by your letter dated 24th September, amounting to the lump sum price of £24,552. for the design, manufacture and delivery F.O.B. London, and the erection in South Georgia at King Edward Point of a Bungalow for the Administrative Officer, all as described or referred to in our letter of invitation to Tender dated the 19th August, 1963, as amended by our letter dated 21st August. The above Lump Sum includes the P.C. Sum of £1000 which shall be used as provided for in Clause 37 (b) of the Conditions of Contract.

2. Copies of the following documents will be bound up to form the Contract Document:-

- (a) Our Letter of Invitation dated the 19th August, 1963, and Amending letter dated the 21st August, 1963.
- (b) Your Tender dated the 29th August, 1963, amending letter dated 24th September, 1963, and General Specification.
- (c) Your letter of 17th September, 1963 and our reply dated 20th September, 1963.
- (d) Our letter of intent dated 26th September, 1963, and your acknowledgment dated 27th September, 1963.
- (e) This letter and your reply accepting the award of the Contract under the terms hereof.
- (f) The Agreement, Conditions of Contract, the Specification and Drawings Nos. EC.14792A and 14793A and Schedule (A) of Furnishings, Fittings and Equipment amended as agreed to include the extras. (Contract Drawing No. EC. 14792A is only amended from Drawing No. EC. 14792 in respect of the prevailing wind direction, which is now shown from the North-West).

3. Detailed instructions regarding shipment will be sent to you in due course by our Shipping Department, but as you are aware, it is essential that the whole of the materials be delivered to London by 22nd November, 1963, ready for shipment and the award of this Contract to you is conditional upon this being achieved.

/4. A correction

Dorran Construction Ltd.,
Perth,
Scotland.

4. A correction in Clause 24 (4) of the Conditions of Contract should be noted. For "Government Wharf Grytviiken" read "The Jetty, King Edward Point".

5. The following agreed variations have been allowed in your tender:-

- (a) All external doors will be plain, not half-glazed.
- (b) Two small opening windows will be incorporated each side of the picture window.
- (c) The water main will enter the bungalow via the boiler house floor to avoid the danger of freezing.
- (d) The chain link fencing will enclose the singled compound.

6. We confirm that a run of 50ft. of underground power cable to connect with the existing supply will be adequate. However, whilst we have no reason to doubt the accuracy of the Survey for the Site Plan which was not done by us, you should make due allowances in your supply for possible small inaccuracies. The line to which you should connect will probably be the line supplying the Administrative Officer's existing bungalow but the final decision will have to be taken at Site.

7. Please confirm that it is now your intention to send only seven men to undertake the erection.

8. It will be necessary, as agreed for one of your men to be in attendance at the London Docks during the loading of the vessel to advise on the safe handling of the materials. Please confirm that you will arrange for this to be done.

9. You will no doubt consider the reliability of having your erection team medically examined, and with regard to the certificates of fitness from T.B. handed to Mr. McParry, you will have noted that they should be carried by your men and produced upon request by a competent authority.

10. The accommodation provided for the passages of your men to South Georgia will be:-

One Owner's Cabin, which is also large enough to be used as an Office.

Two Single Berths.

Two Double Berths.

All of which are provided with individual showers. We can arrange for your men to draw spending money from the Ship's Captain during the voyage and if you wish to avail yourself of this facility, please let us know as soon as possible, giving full details.

/11. Three days

11. Three days have been allowed for unloading the materials at South Georgia. The actual unloading will have to be carried out by your men assisted by the ship's crew. It could be employed, but this would be at extra cost to us. Please confirm that this arrangement is satisfactory.

12. With regard to the return passage, we are hopeful that these can be arranged on a British Antarctic Survey vessel leaving South Georgia at the end-March, 1944, arriving in the U.K. about 3/4 weeks later. We will advise you as soon as possible of the final arrangements made.

13. You will be required to enter into a formal Agreement which we will send to you on receipt of your reply. We propose that in the meantime this letter and your reply accepting the terms of the contract under the terms of which shall form a binding contract.

14. To enable us to prepare the Agreement and the Bond, we should be glad if you would inform us immediately of the registered address of your company together with the name and registered address of your home man.

15. Please forward in due course for approval the Policy or Policies of Insurance, and receipt for payment of the current Premiums in accordance with the requirements of Clauses 17, 19 and 20 of the Conditions of Contract.

16. Please forward with your acknowledgment the breakdown in prices called for in Clause 27 of the specification. A breakdown of the shipping specification into its main items should also be forwarded to us as soon as possible.

Yours faithfully,

for Crown Agents.

DIRECTORS H. R. FERDINANDO (CHAIRMAN)
SECRETARY Mrs E BROWN

H. B. BRASSEY
CONSULTANT ARCHITECT: D. T. BROWN, A.R.I.B.A., A.R.I.A.S.

A. P. MORAY

G. M. FADYEN

DORRAN CONSTRUCTION LIMITED

PERTH • SCOTLAND

REGD OFFICE DORRAN WORKS PERTH TEL PERTH 2297 (4 LINES)
GLASGOW OFFICE 146 WEST REGENT ST. C2 TEL CITY 5379

2nd. October, 1963.

Crown Agents,
4, Millbank,
London, S.W.1.

Dear Sirs,

Bungalow for Administrative Officer
South Georgia.

We beg to acknowledge your letter, undated, reference EC3/South Georgia F.I.D. 270/1, formally indicating your acceptance of our amended offer dated 24th. September, 1963.

We note the various points which you make, and confirm that our Mr. G. Howkins, who will be in charge of our party, will be in attendance at the London Docks during the loading of the vessel.

For your information the registered address of this Company is Dorran Works, Perth, and the registered address of our bondsman is Alliance Assurance Company Limited, Bartholemew Lane, London, E.C.2.

We will, as requested, in due course be forwarding relevant policies of Insurance, and receipts for premiums, etc., also a breakdown of the shipping specification.

Yours faithfully,


Managing Director.

Subsequently dated 1st October 1963 This letter
to be read in conjunction with Dorran Construction Co.
Ltd. letter dated 1st October 1963.

DORRAN CONSTRUCTION LIMITED

PERTH • SCOTLAND

REGD. OFFICE DORRAN WORKS PERTH TEL. PERTH 2297 (4 LINES)
GLASGOW OFFICE 146 WEST REGENT ST. C.2 TEL. CITY 7271

Your Ref:

In Reply Please Quote Job No.

EC3/South Georgia F.I.D., 270.

1st. October, 1963.

Crown Agents,
4, Millbank,
London, S.W.1.

Dear Sirs,

Proposed New Bungalow for Administrative Officer,
South Georgia.

Further to our letter of 24th. September, confirming our offer to supply and erect the above building complete, for the sum of £24,532 (Twenty four thousand five hundred and thirty two pounds), we have pleasure in forwarding a breakdown of our estimate, in accordance with Item 27 of your General Specification.

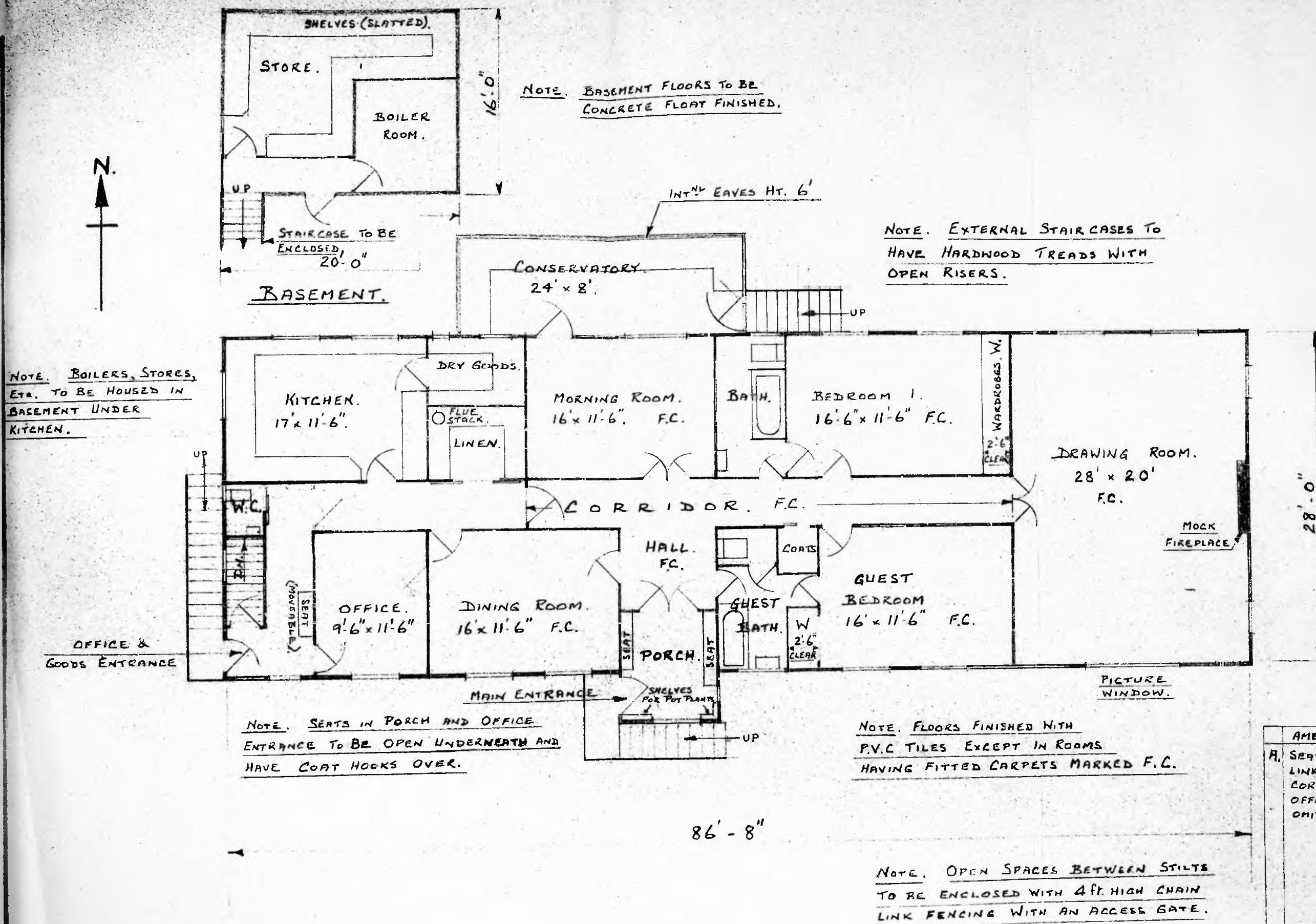
(a)	Precast concrete sub-structure, f.o.b.	£4,200.
(b)	Carcass of superstructure and basement, f.o.b.	9,572.
(c)	Items included in your Schedule A., f.o.b.	2,800.
(d)	Central heating installation, f.o.b.	1,500.
(e)	Plant and materials for site works, connections to services, fencing and decorating, f.o.b.	2,300.
(f)	Labour on site and in transit	4,160.
		<hr/> £24,532. <hr/>

For your information, our team will consist of seven men, namely a foreman, two joiners, a plumber, a mason, a painter, and an electrician.

Yours faithfully,


Managing Director.

G.M.F./EB.



AMENDMENTS.	
A.	SEATS, SHELVING, CHAIN LINK FENCING ADDED. CORRIDOR DOOR MOVED. OFFICE/DINING DOOR OMITTED.

PROPOSED LAYOUT

OF

ADMINISTRATIVE OFFICER'S NEW BUNGALOW.

S. GEORGIA.

SCALE: 1/8 IN. TO 1 FOOT.

REQUISITION N^o 270.

DRAWING N^o EC.14793^A

AUG. 1963.

DECODE.

TELEGRAM.

No. 33.

From Crown Agents, London.

To Colonial Secretary, Stanley.

Despatched : 4th September, 19 63. Time : 1752

Received : 5th September, 19 63. Time : 0900

Proposed bungalow for Administrative Officer South Georgia. Colonial Office have approved total expenditure of £36,000. As time short we are awarding contract soonest to Dorrans Construction Limited a Scottish contractor for supply and erection coming season. We have fully consulted Administrative Officer and discussed with Governor. Letter follows.

110

Crown

P/L : LE
(Intld.) HLB

5-9-63

103
J.G.
For inf. pl.
Perhaps we should advise
✓ 10/2 camp.
5-9-63

DECODE.

No. 6.

TELEGRAM.*From* Crown Agents, London.*To* Colonial Secretary, Stanley.*Despatched :* 28th October, 19 63. *Time :* 1722*Received :* 29th October, 19 63. *Time :* 0900

Reference bungalow for Administrative Officer South Georgia. Contract includes for all aggregate for concrete to be supplied from United Kingdom but contractor has underestimated amount required. Extra will considerably increase shipping tonnage and firm enquire whether coarse aggregate for mass concrete foundations available near site. Grateful if you could enquire availability and cable outcome.

Crown

P/L : LH

Reply at 108

DECODE.

No. 180.

TELEGRAM.*From* Administrative Officer, South Georgia.*To* Colonial Secretary, Stanley.*Despatched :* 29th October, 19 63. *Time :* 1720*Received :* 30th October, 19 63. *Time :* 0930

106

No. 226. Your telegram No. 217.

Aggregate for bungalow. Coarse aggregate mixed in size available from beach shingle. Aggregate of coarse shale quality available from mountain side. Haulage distance in both cases approximately 1,500 feet.

Administrative Officer

P/L : LH
(Intld.) HLB

CROWN AGENTS
FOR OVERSEA GOVERNMENTS AND ADMINISTRATIONS

ABBEY 7730

4, MILLBANK,
WESTMINSTER,
LONDON, S.W.1

18th October, 1963.

Dear Sir Edwin,

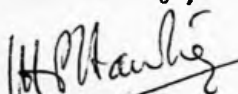
ADMINISTRATIVE OFFICER'S BUNGALOW:
SOUTH GEORGIA

110

I enclose a copy of our letter to the Colonial Secretary. From this, you will see that we have successfully negotiated a contract with Dorran Construction Ltd., the firm whose preliminary offer we discussed with you and Captain Coleman during your visit in July. The Colonial Office has authorised a total expenditure of £36,000 and the firm are now proceeding with the order for delivery on board the "A.E.S." in London Docks for which the closing date for loading is 22nd November, 1963. This will present them with a real challenge, but one which they have contracted to meet. However, as this date has already been brought forward by ten days over the original closing date, we would welcome any assistance you can offer in impressing upon the Falkland Island Trading Coy. that any further bringing forward of the sailing date would make it impossible to deliver the building for erection next year.

You will see that on the return journey B.A.S. are only able to carry the Contractor's men from South Georgia to Port Stanley and then only if accommodation can be provided at Port Stanley for 8 of the B.A.S. men whose berths the Contractor's men would occupy. We understand that the "SHACKLETON" will disembark the Contractor's men at Port Stanley about 19th April, 1963, and whilst we are making every effort to obtain return passages thence, any assistance which you can offer will be greatly appreciated. A vessel arranged to leave South Georgia immediately after the end of March, 1964, when the contract for the Bungalow is due to be completed, would be ideal for our purpose. If the Contractor's men are forced to stay on appreciably beyond the completion date it would undoubtedly lead to a claim for extra costs.

Yours sincerely,


(J.H.P. HAWTREY)

Sir Edwin Arrowsmith, K.C.M.G.

18th October, 1963.

Dear Sir,

Administrative Officer's Bungalow -
South Georgia.

102 We refer to our telegram of the 4th September, 1963, advising you that we were awarding a contract to Dorran Construction Ltd., for the supply and erection of the new bungalow.

The circumstances leading up to this were as follows:-

Revised quotations were obtained from Messrs. W.J. Simms, Sons & Cooke Ltd., on the lines suggested by the Governor, Sir Edwin Arrowsmith, but as you are probably aware, the overall cost was still extremely high, amounting to £50,000. We therefore circulated some 29 manufacturers of prefabricated houses in Norway, Sweden, Denmark and the United Kingdom asking whether they would be interested in quoting for the bungalow. About 9 firms expressed interest and were sent preliminary tendering documents. Of these, only 3 submitted approximate costs. After consultation with the Governor and the Administrative Officer one of these firms was rejected as the type of building offered was thought to be unsuitable. Another was rejected by us as subsequently doubts were raised as to their capabilities of designing a building suitable for the extreme climatic and loading conditions. We therefore asked the remaining firm, Dorran Construction Ltd., to submit a firm tender, and this resulted in our obtaining financial approval from the Colonial Office, for a total expenditure of £35,000.

The firm appear to be experienced in this type of work as they have erected bungalows in the remote parts of Scotland and surrounding islands where traditional methods cannot be employed due to lack of skilled labour. The type of building offered comprises concrete panelled walls sealed and jointed together, lined with plaster board and having insulated fill. The layout is based on that provided by the Administrative Officer as amended by us and the bungalow will be erected on reinforced concrete stilts about 6 ft. above ground level.

The work is now proceeding and will be shipped on the "AES" which closes in London on the 22nd November, 1963. An erection team of 8 men will travel on this vessel and we understand from the Administrative Officer that they will be accommodated at New Discovery House during the period of erection. We have provided in the contract that free use will be made available to the contractor of the erection equipment, plant, etc., supplied for the New Discovery House Contract. The contract terms provide for the work to be supervised in South Georgia by the Engineer's Representative who shall be nominated by the Government. We would be grateful if you would cable the name of the person chosen as soon as possible. We imagine the choice might well be the Administrative Officer himself.

?
In discussions with us the Governor suggested that a British Antarctic Survey vessel could bring the Contractor's men back to U.K. at the end of March 1964. Unfortunately, we have recently learnt that there will be no accommodation available on any

/B.A.S.

The Colonial Secretary,
Port Stanley,
FALKLAND ISLANDS.

B.A.S. vessel except to carry the men from South Georgia to Port Stanley at the beginning of April, 1964, on the "SHACKLETON". We are now actively pursuing alternative means of bringing them back from Port Stanley.

We enclose quadruplicate copies of the contract, and would be obliged if you would forward 2 copies to the Administrative Officer, subject, of course, to your agreement to him being nominated the Engineer's Representative.

Yours faithfully,

for the Crown Agents.

HAGS

I didn't suggest the contractors were
should return in RRS ship, but A.O.
may have done so. We shd. try to
get them away by winning transport if only
to Durban. A.O. has given us dates of
a departure from S.G.

JA 30.10.63

In any case there would be no passages
available in the April Durban to Monte.

DECODE.

No. 46.

TELEGRAM.

From Crown Agents, London.

To Colonial Secretary, Stanley.

Despatched : 1st November, 19 63. Time : 1132

Received : 1st November, 19 63. Time :

Following for Administrative Office South Georgia.

Your telegram 22nd October regret too late to
alter main entrance.

Crown

P/L : IH
(Intld.) HLB

114

Extract from H.E. the Governor's letter of November 4, 1963
to Captain D.J. Coleman, South Georgia, filed on D/6/47/V.

P.S. On the Operational Schedule (the last page of the
enclosure) I see that the "Matsushima Maru" is due to
leave South Georgia on March 30 and arrive Europe April 19.
This would be an ideal way of getting the builders and any
others back. They have not a hope of getting away from
Stanley in April or May because the "Darwin" is completely
booked up for these voyages.

KIV 116

B. u.
31.1.64

118

CROWN AGENTS

FOR OVERSEA GOVERNMENTS AND ADMINISTRATIONS

EC3/S.Georgia F.I.D. 270.

TELEGRAMS { INLAND: "CROWN, SOWEST, LONDON"
OVERSEA: "CROWN, LONDON"

TELEPHONE: ABBEY 7730

TELEX NO. 24208



4. MILLBANK,
LONDON, S.W.1.

18th October, 1963.

Dear Sir,

Administrative Officer's Bungalow -
South Georgia.

We refer to our telegram of the 4th September, 1963, advising you that we were awarding a contract to Dorran Construction Ltd., for the supply and erection of the new bungalow.

The circumstances leading up to this were as follows:-

Revised quotations were obtained from Messrs. W.J. Simms, Sons & Cooke Ltd., on the lines suggested by the Governor, Sir Edwin Arrowsmith, but as you are probably aware, the overall cost was still extremely high, amounting to £50,000. We therefore circulated some 29 manufacturers of prefabricated houses in Norway, Sweden, Denmark and the United Kingdom asking whether they would be interested in quoting for the bungalow. About 9 firms expressed interest and were sent preliminary tendering documents. Of these, only 3 submitted approximate costs. After consultation with the Governor and the Administrative Officer one of these firms was rejected as the type of building offered was thought to be unsuitable. Another was rejected by us as subsequently doubts were raised as to their capabilities of designing a building suitable for the extreme climatic and loading conditions. We therefore asked the remaining firm, Dorran Construction Ltd., to submit a firm tender, and this resulted in our obtaining financial approval from the Colonial Office, for a total expenditure of £36,000.

The firm appear to be experienced in this type of work as they have erected bungalows in the remote parts of Scotland and surrounding islands where traditional methods cannot be employed due to lack of skilled labour. The type of building offered comprises concrete panelled walls sealed and jointed together, lined with plaster board and having insulated fill. The layout is based on that provided by the Administrative Officer as amended by us and the bungalow will be erected on reinforced concrete stilts about 6 ft. above ground level.

x/ The work is now proceeding and will be shipped on the "AES" which closes in London on the 22nd November, 1963. An erection team of 8 men will travel on this vessel and we understand from the Administrative Officer that they will be accommodated at New Discovery House during the period of erection. We have provided in the contract that free use will be made available to the contractor of the erection equipment, plant, etc., supplied for the New Discovery House Contract. The contract terms provide for the work to be supervised in South Georgia by the Engineer's Representative who shall be nominated by the Government. We would be grateful if you would cable the name of the person chosen as soon as possible. We imagine the choice might well be the Administrative Officer himself.

In discussions with us the Governor suggested that a British Antarctic Survey vessel could bring the Contractor's men back to U.K. at the end of March 1964. Unfortunately, we have recently learnt that there will be no accommodation available on any

/B.A.S.

The Colonial Secretary,
Port Stanley,
FALKLAND ISLANDS.

x/ See 123

Kio Bu 27117

119

B.A.S. vessel except to carry the men from South Georgia to Port Stanley at the beginning of April, 1964, on the "SHACKLETON". We are now actively pursuing alternative means of bringing them back from Port Stanley.

We enclose quadruplicate copies of the contract, and would be obliged if you would forward 2 copies to the Administrative Officer, subject, of course, to your agreement to him being nominated the Engineer's Representative.

Yours faithfully,

M. Weaver

for the Crown Agents.

P.S. Since writing the above, Dorran Construction Ltd. have asked us to arrange for each of their erection team to receive £2.10s.0d. per week spending money during the course of the contract. We have agreed to this and they will be sending us a cheque to cover these payments. We would be obliged therefore if the Engineer's Representative in South Georgia could be empowered to pay the person who the Contractor will nominate, each week, upon request, £20 (i.e. 8 men at £2.10/- each).

We apologise for the poor quality of the copying of the Contract Documents, which is due to the need to send them to you with the minimum of delay.

120

J.E. x/a 118.

A. O. planned supervise?

L.E.

9.11.63

Hager

121

You & we shd send 3 copies of

contract to S.G. by Biscot

RD 9.11.63

D/4/62/II

11th November, 63.

To: Administrative Officer,

From: Acting Colonial Secretary,

SOUTH GEORGIA.

ADMINISTRATIVE OFFICER'S BUNGALOW

5.c.
I enclose three copies of the contract under which Dorran Construction Ltd. agree to provide and erect the bungalow. The Governor has appointed you to be the Engineer's Representative (please see Clause 1 (E) of the contract).

2. The contractor has asked that each of the eight men who will arrive to erect the bungalow be paid £2.10.-d. per week for spending money. This should be paid in one sum (£20) to a person to be nominated by the contractor who will attend to its distribution. The payments should be charged to the Expenditure item 41, Administrative Officer's House, and a statement sent to the Crown Agents when the work is completed and payments have ceased. A copy of the statement should be sent to the Treasurer in Stanley.

(Sgd) L. Gleadell.

ACTING COLONIAL SECRETARY

Copies to: Treasury
Audit

LCG/FH

45
123
GOVERNMENT TELEGRAPH SERVICE

FALKLAND ISLANDS

SENT

Wt. P2809 5/61

Number	Office of Origin	Words	Handed in at	Date
	Psy			11.11.63

To

etat CROWN LONDON SW1	SGA/c
-----------------------	-------

118
44
No. 277. Yourlet EC3/South Georgia FID 270 18th October supervisor will
be Administrative Officer

Secretary

LG/LH

GOVERNMENT TELEGRAPH SERVICE

FALKLAND ISLANDS

SENT

Wt. P2809 5/61

Number	Office of Origin	Words	Handed in at	Date
	Psy			3.12.63
To				
	etat ADMINOFF ZBH			SGA/c

121 No. 260. Yourtel 269 AES sailed 28th November 356 tons cargo and fifteen passengers for yours stop Passengers include Graeber

Secretary

HLB/LH

60 30.12.63 (124)

DECODE.

No. 20.

TELEGRAM.

129

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 17th December, 19 63. Time : 1110

Received : 17th December, 19 63. Time :

Administrators bungalow. Regret two glazing units for window on west gable alongside stairs not sent on AES. Will arrive Stanley on Darwin first week February. Can you arrange please for onward carriage to South Georgia and advise Administrator that if not received before contractors men depart they should fix temporary glazing.

Crown

P/L : LH
(Intld.) HLB

Reply at 131

Please repeat to AO
and reply 1/2 k CAN
L.G.
18.12.63

132



1000

To Colonial Secretary, Stanley.

Received : 19 Time :

No. 291. AES arrived here 10 am the 26th December commenced discharging 1300 same day.

Administrative Officer

P/I : IH

FIC informed
(Intld.) NLB

DECODE.

133

No. 327.

TELEGRAM.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 29th December, 19 63. *Time* : 2130

Received : 19 *Time* :

No. 294. AES completed discharge noon 29th and sailed 1520 same day.

Administrative Officer

Record

AES arrived early 2nd Jan.

P/L : IH
(Intld.) HLB

BU 202.64

THE FOLLOWING REFERENCE AND THE
DATE OF THIS LETTER SHOULD BE
QUOTED IN COMMUNICATIONS.

EC3. STH. GEORGIA. FID.270

TELEGRAMS { INLAND : "CROWN, SOWEST, LONDON."
OVERSEA : "CROWN, LONDON SW1"

TELEPHONE : ABBEY 7730

TELEX No. 24209

CROWN AGENTS

OVERSEA GOVERNMENTS AND ADMINISTRATIONS

4, MILLBANK,
LONDON, S.W.1.



26th November, 1963

Dear Sir,

BUNGALOW FOR ADMINISTRATIVE OFFICER, SOUTH GEORGIA.

We enclose a copy of our letter dated the 22nd November to the Administrative Officer, South Georgia, who, in your telegram of the 11th November, was nominated the Engineer's Representative.

The Contractor has now sent us a cheque for £500 to cover payments to his men, and incidental expenses incurred by them. This we have credited to the Falkland Islands General Account. The Contractor has asked that Mr. George Howkins, his Supervisor, be paid upon request a lump sum of £20 each week (8 men at £2.10.0d. each). We have made arrangements for the team to receive five payments of £20 each during the outward voyage and, therefore, by the time they reach South Georgia there will be a balance of £400. The Contractor asks for this to be allocated as follows:-

8 weeks in South Georgia	=	£160
@ £20 per week		
4 weeks during the return	=	80
voyage @ £20 per week		
To cover incidental expenses	=	100
		<u>£340</u>

The balance of £60 is to allow for the possibility that the men may not be repatriated immediately at the end of the 8 week erection period. We will, of course, arrange payment of the men during the return voyage.

Please let us know on completion of the work the amount that has been paid to the men, to enable us to return any balance to the Contractor.

We will let you know as soon as we are able what arrangements have been made for the return voyage.

Yours faithfully,

M. W. E. A. R.
for The Crown Agents

The Colonial Secretary,
Port Stanley,
FALKLAND ISLANDS

Received by A&S 2.1.64

RLW/MEC.

5/1/64

22nd November, 1963.

Dear Captain Coleman,

The first phase of the Contract is drawing to a conclusion, and as you probably know you have been appointed by the Colonial Secretary as the Engineers Representative in South Georgia. I am therefore taking this last opportunity to bring you up-to-date.

The work has gone reasonably smoothly and everything should be got away on the "A.B.S." which will probably sail on or about the 27th November.

We have made arrangements for £20 per week to be paid to Dorran's team for the whole of the time they are away from the U.K. The necessary funds are being deposited to your Government's Account, and you will no doubt be receiving authority from them to make the payments whilst the men are in South Georgia. Mr. George Howkins has been nominated by Dorran's as their Supervisor under Clause 12 of the Conditions of Contract, and he will be the person to whom the lump payment of £20 per week should be made. The Contractor has also provided a float of £100 to meet small incidental expenses. This has similarly been deposited to your Government's Account.

I enclose a copy of the Contract, although duplicate copies were sent earlier to the Colonial Secretary for forwarding to you. Also enclosed ~~is~~ ^{are} copies of the Schedule of Furnishings & Fittings, etc., being supplied by Dorran's. This is the schedule that I prepared after Mrs. Coleman's visit to Perth. The furniture which we purchased separately is as shown on the enclosed copy of our order dated 2nd October, 1963.

The enclosed duplicate set of drawings will, we hope, be suitable for your purposes. Any discrepancies between these and the Specification, will have arisen out of variations authorised during the period of the Contract. You should of course, work to the "as made" drawings. We understand from Dorran's that some of the work will be fabricated at site, and it will therefore be possible for you to introduce minor variations to suit personal requirements. No variations should of course be made to the main structure.

As before, we enclose single copies of our Inspector's Certificates.

The Falkland Islands Company has allowed us 3 days for the Cargo to be discharged at King Edward Point. The unloading will be carried out by Dorran's men assisted by the ship's derrick manned by one of the ship's crew.

In a recent letter from Dorran's we were advised that the erection team would be:-

George Howkins - Supervisor.
J. Rennie.
G. Matthew.
J. Scott.

/Cont'd.

Captain D. J. Coleman.,
Administrative Officer,
SOUTH GEORGIA.

137
J. Murray.
D. O'Brien.
J. Rogers.
A. Morrison.

We have not made final arrangements for the return passages but the work should be completed in South Georgia by the end of March 1964. This is required by the terms of the Contract and will probably afford us the best opportunity of repatriating the men.

I have prepared a set of notes which you may find useful during the supervision of the work and duplicate copies are enclosed. They contain some suggested tests for the various installations and are those recommended by the appropriate British Standard Code of Practice. They would represent a minimum requirement for similar work carried out in the U.K.

The Contract has given rise to some press comment, and I enclose copies of various reports and of the original press release. We were not given the opportunity to vet the latter before release, but apart from one or two instances of journalistic licence, it appears to be factual.

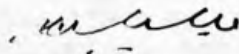
I am sending a copy of this letter to the Colonial Secretary for his information.

We hope everything will go smoothly for you and that upon completion Mrs. Coleman and you will find everything to your liking.

Thank you both for the assistance which you have given us.

With kindest regards.

Yours sincerely,



(R. L. WEAVER).

AES

I think passages have been booked for
 the contractor's men by AES from
 Stanley first week April. We hope
 to get them here in "Shackleton".

139

ERA

8.1.64

There have been booked. S. 2/1/64
 afe.

By 3.2.64 (120)

GOVERNMENT TELEGRAPH SERVICE

140

FALKLAND ISLANDS

SENT

Wt. P2809 5/61

Number	Office of Origin	Words	Handed in at	Date
--------	------------------	-------	--------------	------

Psy

14.1.64

To

etat ADMINOFF ZBH

SG A/C

No. 12. £500 received from Dorran Construction Ltd and placed on deposit in Colonial Treasury your are authorised to make payments in accordance with Crown Agents letter to you dated 22nd November, 1963 stop para The deposit is allocated as follows 8 weeks in South Georgia at £20 per week equals £160 4 weeks during return voyage same rate equals £80 incidentals £100 Balance of £60 allows for possibility delayed repatriation

Secreatry

HLB/TB.

Copy to Treasury

Bd 31.3.64
X on 135

Time

DECODE.

TELEGRAM.

141

No. 110

From.....Administrative Officer, South Georgia.

To.....Colonial Secretary, Stanley.

Despatched : 14th January, 19 64 Time : 1700

Received : 15th January, 19 64 Time : 0900

W1

No. 14. Herewith copy of telegram sent to Crown Agents.

"Reference contract No. EC3/SouthGeorgia/FID270 Clause No. 7.

Have to date received 10 drawings. 4 supplied by Stuarts Granolithic on precast columns and foundations and one by Dorrans on foundations which differs from Stuarts drawing No. M938/S section 3 - 3 as follows Dorrans show boxed foundations 3 foot by 3 foot 6 inches whilst Stuarts under section 3 - 3 show foundations with interior shuttering so that dox wedges may be used to centre and hold in place columns on plate bases 4 by 4 by $\frac{1}{4}$. No plates have been supplied ? Drawings also received, one covering ceiling and floor joists, one elevation and section, one layout and substructure, all by Dorrans. One on roof fastenings by British aluminium.

I have not received any drawings on electrical installation wiring, plumbing, heating installations, drainage, flue insulation and roof connection, sewage and waste disposal pipes, interior panels and wall structure, floorings and ceiling plans, colour scheme details as already supplied builders, exterior and interior stairways, outside canopies."

Administrative.

PL:TB

(Intld) H.L.B.

Reply at 142

DECODE.

142

No. 32.

TELEGRAM.

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 17th January, 19 64. Time : 1407

Received : 18th January, 19 64. Time : 0900

141

Following for Administrative South Georgia. Your telegram 14th January regarding foundation difficulties of bungalow. Drawing 3536 shows size and shape individual blocks which you cast with pockets as shown by the typical details of foot of column on drawing M938/5 immediately below section 3-3. Size pockets should suit column sizes which given drawing M938/4. Suggest you make pockets six inches bigger than columns to allow ample adjustment before final grouting. Regret plates not sent. As not essential use mortar to set columns at correct level. Details drawings of plumbing heating etc. not considered necessary for this type work. Dorrans tradesmen should be fully competent to work from general arrangement drawings only. Understand colour scheme details agreed between Mrs. Coleman and Dorrans we not consulted.

P/L : LH

Repeat to SG today please

(Intld.) HLB
18.1.64

GOVERNMENT TELEGRAPH SERVICE

FALKLAND ISLANDS

SENT

Wt. P2809 5/61

Number	Office of Origin	Words	Handed in at	Date
	Psy			18.1.64
To				
etat ADMINOFF ZBH				SGA/c

142 No. 20. Following from Crown Agents quote yourtel 14th January regarding foundation difficulties of bungalow stop Drawing 3536 shows size and shape individual blocks which you cast with pockets as shown by the typical details of foot of column on drawing M938/5 immediately below section 3-3 stop Size pockets should suit column sizes which given drawing M938/4 stop Suggest you make pockets six inches bigger than columns to allow ample adjustment before final grouting stop Regret plates not sent stop As not essential use mortar to set columns at correct level stop Details drawings of plumbing heating etc not considered necessary for this type work stop Dorrans tradesmen should be fully competent to work from general arrangement drawings only stop Understand colour scheme details agreed between Mrs Coleman and Dorrans we not consulted unquote

Secretary

Time

LH

Bu 6.2.64 (129)

DECODE.

No. 12.

TELEGRAM.

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 28th January, 19 64. Time : 1650

Received : 28th January, 19 64. Time : 0900

Following for Administrative South Georgia.

HAH

Your telegram 18th January. Dorrans regret copper flashing not sent but consider not essential. Ensure joint with wall panel well sealed with mastic and paint timber with three coats varnish.

Crown

p/l : LH
(Intld.) HLB

bu 6.2.64(129)

DECODE.

No. 54.

TELEGRAM.

146

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 5th February, 1964. *Time :* 1700

Received : 6th February, 1964. *Time :* 0900

For Administrative South Georgia.

Your telegram 2nd February expect ship bungalow
cabinets AES due Stanley 18th March.

Crown

P/L : LH
(Intld.) HLB

Kiv 129

TELEGRAM.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 18th February, 19 64. Time : 1220

Received : 18th February, 19 64. Time : 1100

No. 67. Following for Crown Agents. Reference contract EC3 South Georgia FID 270/1. Following report of work and materials contrary to specification. Refer to drawing No. 3524/63.

(1) Anchor clips to floor joists type B. On south side many are bent due to check in joists not centred to clip. Metal rod bent in places. On north side from east corner 14 clip not fitted and rod bent in several places. Clip type C from ceiling joists not fitted and now all wall partitions and coving in place.

(2) Only 4 gable braces fitted instead of 8 shown.

(3) Refer paragraph 25 of contract. With exception of floor joists and framing to Dormans wall units all softwood received South Georgia was neither primed nor undercoated nor painted on site. This refers to softwood in roof structure and all internal partitions. Internal stairway and door frames in position without being primed so all inside or inaccessible surfaces cannot be treated.

(4) Bathrooms wall panels. Good quality laconite not supplied and inferior popular wall panels not adhering to walls and already bowed partly due to being forced into position. Surface damaged in several places.

(5) Fanlights over corridor doors not obscured glass as called for paragraph 13 specification. Double door in porch also half glazed with clear glass.

(6) External wall units now in place for several weeks have had only one gunning of mastic which has not been caulked or covered with pointing. Have had much driving rain which had entered through gaps which were visible before being covered with poron and plasterboard which must also be absorbing rain.

(7) Internal walls. Plaster board damaged several places due to being hammer nailed instead of punch nailed.

(8) Stone fireplace erected in badly damaged condition. Some repairs executed but several stones still show numerous cracks. Unacceptable in present condition.

(9) Gaps in jointings of novoboard flooring visible in rooms selected to have fitted carpets.

(10) Heated towel rails supplied without incorporated radiators as called for in Schedule A pages A1 and A2.

(11) Aluminum roof sheets not supplied permanently coloured red, paragraph 17 specification.

(12) As result of door frames appearing to be out of true with ceilings and finding blocks under centre line load bearing partitions supervisor informs me all ceilings have one and half inch camber.

Page 2

- (13) External canopies paragraph 14 specification not supplied. This will constitute a real danger to persons awaiting entrance when roof sheds snow and ice load.
- (14) Main doors to drawing room not centred to corridor walls.
- (15) Supervisor has offered no explanation for the omissions and bad workmanship although most matters listed have been brought to his notice on previous occasions to date no action has resulted.

Administrative Officer

F/L : III

155

DECODE.

No. 33.

TELEGRAM.

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 26th February, 19 64. Time : 1715

Received : 27th February, 19 64. Time :

Following for Adminoff South Georgia.

152 Your telegram 22nd February bungalow. Regret the difficulties that have arisen we are actively discussing with contractor remedial measures necessary. Meantime we have asked contractor to instruct his supervisor by telegram to carry out all remedial work possible as required by you. We will cable detailed recommendations soonest.

Crown

P/L : JM
(Intld.) HLB

Following from Crown

157
DECODE.

No. 49/307

TELEGRAM.

From McFadyen, Perth, Scotland.

To Howkins Dorrans care Secretary Stanley.

Despatched : 28th February, 19 64 *Time :* 1625

Received : 29th February, 19 64. *Time :* 0945

Re cable Crown London kl4 616 nr 71 Port Stanley 512/511 22
1550 you must adhere strictly to terms of contract. You must
carry out all reasonable instructions issued by engineers
representative. Most remedial measures necessary will be obvious
to you, but detailed instructions will follow when agreed with
Crown Agents. Non co-operation with engineers representative
is disservice to company

McFadyen

PL:TB
(INLD) HLB.

CONFIDENTIAL

~~167~~
159

King Edward Point,
South Georgia.

10th February 1964.

W1
See
by me

Sir,

As you are aware, I have undertaken the task of Engineer's Representative on behalf of Crown Agents and the Government to supervise the building of the A.O.'s new house. To date it has not proved a pleasant or easy task. Dorran's supervisor resents any criticism of workmanship, however justified, on the grounds that when the building is completed the surface appearance will be pleasing. This I do not doubt, but some very careless structural work has gone into the interior partitions. This has been pointed out to the supervisor but he is most reluctant to ask the men to do the job properly. He appears afraid to exercise his authority, particularly with the Joiners, who are Dorran's employees of several years' standing.

Whilst I agree that all will probably look right in the end, there are two grounds on which I cannot agree, one being the windows provided. They are ridiculously small, with heavy transoms right across the viewing space keeping out much of the light. Secondly, the radiators are ugly antiquated things instead of the panel-type expected. Even Dorran's men protest they have never installed such an obsolete type in their houses before.

However, from what I have seen of the furnishings chosen and with those already available from the present house, I am sure that the finished house will be comfortable. The exterior effect is pleasing and should prove maintenance-free.

I am, Sir,

Your obedient servant,

I. Stobman

Administrative Officer,
South Georgia.

His Excellency the Governor.
Falkland Islands & Dependencies,
Port Stanley,
Falkland Islands.

Reply at 160
~~168~~

~~468~~
160

IN CONFIDENCE

February 27, 1964.

(Dear Coleman,)

159467

Thank you for your letter of February 10 about The Residency at South Georgia. I am sorry you have had such a difficult time over it, and particularly that the windows are so small and the radiators antiquated. However, I am glad to hear it will be comfortable inside and will look well.

(Yours sincerely,

Edwin Arrowsmith.)

Bel 16.3.64

D. J. COLEMAN, ESQ.

DECODE.

No. 38 .

TELEGRAM.

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 4th March, 19 64. Time : 1610

Received : 5th March, 19 64. Time : 0900

155 Following for Adminoff South Georgia. Further our telegram 26th February bungalow. Following action taken or advice offered.

Item (1) Bent anchor clips and rod should not reduce effectiveness. Not clear whether fourteenth clip or fourteen clips omitted. If former not serious if latter instruct supervisor to fix by bolting to concrete beam if original clamping fixing not possible. Dorrans are instructing supervisor to fix type C clips.

(2) Dorrans are instructing supervisor to fix all braces.

(3) Priming and pointing carcassing timber not necessary regret our specification not clear.

(4) We are investigating difference in quality and will report later meantime Dorrans are instructing supervisor to rectify bowing and damage.

(5) Regret obscure glass not supplied suggest using glass from existing house if suitable otherwise we will ship replacements.

(6) Dorrans will instruct supervisor to weather proof joints. Pointing usually left until completion to avoid cracking and loosening.

(7) Dorrans will instruct supervisor to make good damage.

(8) If surplus stones provided insufficient we can arrange shipment in May of replacements if advised number required assuring you can fix. Was damage caused during shipment or fixing.

(9) Dorrans will instruct supervisor to fill gaps.

(10) Separate radiators and towel rails provided as combined type unable provide sufficient heat trust acceptable.

(11) There was insufficient time for sheeting to be coloured suitable paint provided. Regret you not advised.

(12) Camber not necessary and wrong we agree result unsightly. Some plasterboard and coving available which possibly be used to rectify worst affects. If not it will be necessary to replace whole ceiling but this costly if Dorrans send men next season see clause 37 maintenance. We can ship necessary materials if you can fix. Please advise.

(13)/.

Page 2

(13) Dorrans regret omission and will instruct supervisor to construct canopies from surplus material to your directions. Important to provide strong anchorage to resist wind uplift.

(14) Dorrans have cabled supervisor calling for full cooperation in completing work to contract requirements and your directions.

Crown

P/L : LH

165
DECODE.

No. 37.

TELEGRAM.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 10th March, 19 64. Time : 1728

Received : 11th March, 19 64. Time : 0900

163

No. 94. Your telegram No. 73. Following for Crown.

161.

Begins your telegram re bungalow most helpful.

All recommendations not yet completed but will inspect when carried out stop Your No. 5 have obtained sufficient obscure glass to do main entrance door fanlight and side windows stop Suggest we accept clear glass all hallway fanlights stop Your No. 6 this now done but leak by window in main bedroom source not yet discovered but investigating stop Your No. 8 supervisor will report number and colour of stones required and states damage done during shipment stop Your No. 12 have tried to eliminate worst affects by trimming coving stop Job still not satisfactory but agree costly to replace whole ceiling which seems only satisfactory cure stop Suggest we accept under protest provided you satisfied no structural weakness stop Due to limited shipping opportunities contract will have to be completed by 16th March when men can be repatriated via Durban stop Supervisor stated on 15/2/64 finishing date would be 15th March so he should be able to meet this deadline stop Ends

Administrative Officer

166

P/T : JH

(Incl.) HLB

Repeated to Crown London 11.3.64 No. 73.

41.

BT

Riv 129

DECODE.

No. 76.

TELEGRAM.*From* Crown Agents, London.*To* Colonial Secretary, Stanley.*Despatched :* 13th March, 19 64. *Time :* 1530*Received :* 14th March, 19 64. *Time :* 0900

Following for Adminoff.

Yourtel 11th March bungalow. Will arrange earliest shipment stones. Regret ceiling unsatisfactory but satisfied structurally sound. Assume passages booked to UK and you have cancelled AES passages. Please confirm with details.

Crown

P/L : LH

(Itndl.) HLB

DECODE.

No. 190.

TELEGRAM.*From* Administrative Officer, South Georgia.*To* Colonial Secretary, Stanley.*Despatched :* 19th March, 19 64. *Time :* 1905*Received :* 20th March, 19 64. *Time :* 0900

No. 124. Following for Crown. Reference contract EC3/South Georgia FID 232/1. Please refer to my letter ref 162 dated 9th April 1963 paragraph "PVC tiles and sheeting". As forecast in this report we are now having considerable trouble from lifting tiles and it is estimated that there are about 300 that will need relaying. These tiles were laid direct on wood floors and old adhesive now needs to be cleaned before re laying. Intend laying with evostik but grateful your recommendations. Ends.

P/L : IH
(Intld.) HLE

Reply at 220

DECODE.

No; 23.

TELEGRAM.From Crown Agents, London SW1.To Colonial Secretary, Stanley.

Despatched : 25th March, 1964. Time : 1300

Received : 25th March, 1964. Time : 1200

174

Your telegram No. 91. Glazing for bungalow shipped
 Horby Grange bill lading T2 arrived Montevideo 8th January
 consigned Macleans who instructed on carry Darwin arrived
 Stanley 31st January please advise if still unable trace.

Crown

176

S/c ff. deck with Customs then
 telegraph Macleane asking them to
 investigate same ship and next Darwin.

P/L : LH

(Intld.) HLB

270 Coh SEC
 Ao BungalowDouble Glazing
 Unit

25364

Reply at 187

177

A.C.S.

No record of in P.W.D.

No record of in warehouse ie no record of receipt nor of anyone taking delivery.



26.3.64

DECODE.

No. 251.

TELEGRAM.From Administrative Officer, South Georgia.To Colonial Secretary, Stanley.

Despatched : 28th March, 19 64. Time : 2200

Received : 19 Time :

No. 132. Following sent to Crown begins.

Reference contract EC3 South Georgia FID270/1.
Dorrans supervisor and two workmen left here on 24th March.
Unable to issue certificate of completion at that time as
house not ready for immediate occupation.

- (1) Bookcase fittings drawing room have to be altered to fit and fixed in position.
- (2) Damaged support to kitchen worktop to renew then paint.
- (3) Formica worktop in kitchen one section to renew and relay, bad joining which has already cut one persons hands.
- (4) Shelving in linen cupboard clean off paint and dirt and rough surface to rub down.
- (5) Unfinished floor ledge near stairway to basement to finish off.
- (6) Coat hooks to get one side main entrance.
- (7) Damaged wood work kitchen window palmet to repair also shelves in main entrance porch.
- (8) Internal door handles and locks and valve to radiators paint to clean off.
- (9) Tiles in bathroom kitchen and back hallway polished over paint and tile adhesive all require thorough cleaning.
- (10) Gaps between plastic faced wall board and kitchen windows to fill.
- (11) Internally house requires thorough cleaning and several places paint work needs touching up particularly door frames and stain work on thresholds where tile adhesive need to be cleaned off.
- (12) Broom cupboard which was still unpacked found on site although supervisor had been asked many times about same, alterations to kitchen to fit same.
- (13) Cupboard or shelves to fit under worktop near china and glassware cupboard.
- (14) Spare nu-way burner and controls to completely overhaul, this was left on site unprotected from rain.
- (15) Concrete columns in basement food store mud to clean off then paint.
- (16) Erection numbers on outer face of concrete foundation columns to clean off.

See 86.

Page 2

Site clearance all surplus material to collect and store. Site to be cleared of all rubbish and of packing cases etc. accumulated since work started. Holes and trenches dug to get at water main damaged by Dorrans to fill. Ground by way of oil storage tank, north end of basement wall and under conservatory to backfill and cover with shingles. Approach roads adjacent to building, holes to fill and re-surface with shingle broken up during construction. Mounds of concrete to break out and clear where concrete mixing took place. Pit dug for rubbish to fill in.

Request permission to engage local labour to complete outstanding work. Government handymen (2) engaged in putting in foundation in Power Station and assisting in moving generating set not available for foregoing work. In addition to foregoing heavy rain during past 24 hours has revealed 10 leaks in conservatory roof and 2 in main roof by way of fastening to chimney stays. This report has been copied to Hawkins c/o Protector. Grateful early reply. Ends.

Administrative Officer

P/L : LH

(Intld.) HLB

KIV 177

180

S/c

As at x/ on 126 today pl.

2.4.64

See folio 185.

H

DECODE.

No. 4.

TELEGRAM.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 1st April, 19 64. *Time :* 1730

Received : 2nd April, 19 64. *Time :* 0900

No. 139. Following for Crown.

Reference contract number EC3 South Georgia FID 270/1.
The following required to be despatched by Dorrans either
to replace broken or missing parts

- (1) Lavatory seat and cover
- (2) Bricks for fireplace
- (3) Stick on hooks for bathroom and toilet doors
- (4) White cistern cover for main bathroom.

P/L : LH
(Intld.) HLB

DECODE.

TELEGRAM.

No. 3.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 1st April, 19 64. *Time* : 1730

Received : 2nd April, 19 64. *Time* : 0900

No. 140. Following for Crown.

Reference contract No. EC3 South Georgia 270/1. Druces invoice EX/3290 dated 2/12/63. Items 3 and 21 received with purple cotton covers to seats and backs. Please arrange immediate despatch of seats and backs only covered in grey cirrus everflex. Purple ones being returned.

Items 10 11A 12 not as specified but appear to be ex utility type with bright orange varnish finish. Item 10 has six extremely shallow drawers only. Item 14 does not match and is being returned. Please arrange despatch of light oak as specification.

Item 2 is not as specified and nothing like item 19. Table is being returned per Shackleton please arrange immediate despatch as specification or if unavailable another as item 19.

P/L : LH

(Intld.) HLB

DECODE.

TELEGRAM.

From Crown Agents, London.

To Colonial Secretary, Stanley.

Despatched :	2nd April,	19 64	Time : 1755
Received :	3rd April,	19 64	Time : 0900

Following for Administrative Officer South Georgia.
Ref. your telegram 29th March we are reporting to Dorrans
defects in bungalow meanwhile local labour may be employed
to complete outstanding work.

Crown.

Repealed to Ato see 188.

5/4/62
DECODE.

No. 3.

TELEGRAM.

From Maclean & Stapledon, Montevideo.

To Colonial Secretary, Stanley.

Despatched : 3rd April, 19 64. Time : 1520

Received : 19 Time :

185 Yours 19. Gleazing unit shipped Darwin 27th January
blading number nine.

Macstaple

P/L : LH
(ItndL.) HLB

190
S/C Before going any further pl ask
A/O S.Geo if this yet been recd.

8.4.64

DECODE.

No. 26.

TELEGRAM.From Crown Agents, London SW1.To Colonial Secretary, Stanley.

Despatched : 8th April, 19 64. Time : 1103

Received : 8th April, 19 64. Time : 1230

Following for Adminoff South Georgia begins

184

Your telegram 104 regret difficulties over furniture. Suppliers admit error items 3 and 21 and replacements being despatched to connect Darwin meanwhile please confirm grey everflex and not green required. Firm cannot understand reference utility type items 10 11 and 12 since have assured us good quality supplied also unable understand bright orange varnish unless some reaction set during voyage. Error over dressing table theirs since original model unavailable at time shipment and your model substituted without reference Crown Agents. Please advise in what respect item 14 does not match since original will not arrive until after replacements have been shipped similarly cannot understand discrepancy item 2 according to suppliers table 4 foot by 2 foot mahogany finish fitted 2 drawers top lined green everflex as specified shipped please advise in what respect table received differs.

Crown

Reply at 206.

Please pass to AO

(Intld.) HLB

8.4.64

P/L : LH

✓ Sec f. 194
411.

DECODE.TELEGRAM.

No. 45.

From Administrative Officer, South Georgia.To Colonial Secretary, Stanley.

Despatched : 9th April, 19 64. Time : 1230

Received : 9th April, 19 64. Time : 1030

19/ No. 146. Your telegram No. 117. Glazing units
delivered by Shackleton 23rd February.

Administrative Officer

P/L : LH

(Intld.) NLE

S/c 1 196
 (w) thought
 20.4.64

196
 20.4.64

KIN 192



King Edward Point,
South Georgia,
South Atlantic.

1st April 1964.

Ref. EC3 South Georgia FID.270/1

Crown Agents for Oversea Governments
and Administrations,
4 Millbank,
London, S.W.1.

DI file

181
Sirs,

With reference to my telegram number 139 of
1st April 1964, I confirm that the following are
to be supplied by Dorrans to replace broken or
incorrect materials supplied.

- (1) Black Lavatory seat and cover
- (2) Bricks for fireplace (Dorrans have number)
- (3) Stick-on hooks for bathroom and toilet doors.
(Supervisor states screws will not hold on
flimsy doors)
- (4) White cistern cover for main bathroom.

I am, Sirs,

Your obedient servant,

A handwritten signature in dark ink, appearing to be "J. S. [unclear]".

Administrative Officer,
South Georgia.

c.c. The Honourable,
The Colonial Secretary,
Port Stanley.

King Edward Point,
South Georgia,
South Atlantic.

1st April 1964

Ref. 803 South Georgia FID. 270/1

Crown Agents for Overseas Governments
and Administrations,
4 Millbank,
London, S.W.1.

Sirs,

182 With reference to my telegram number 140 of 1st April 1964 I would refer to Druce's Invoice No. EX/3290 dated 2.12.63. Item No.2, Writing Table/Desk, was not in mahogany but appeared to be white-wood stained and varnished, of very poor quality and quite unsuitable for a drawingroom. It has been returned to Crown Agents in "Shackleton" for replacement with a mahogany one similar to Item No.20. I think you will agree that £41.5.0 is excessive for the original.

The small chairs in Item Nos.3 and 21 were supplied with dark purple cotton covers instead of the Cirrus Everflex quoted. These cannot possibly be used on a red carpet and the seats and backs are being returned. The green Cirrus is a very poor colour and it would be better if the seats and backs were replaced in grey or even fawn. (Your letter 86/S.Georgia 2704/1 of 14th October 1963 was received too late to reject the proposed covering.) It is incomprehensible why purple should be sent when green appeared on the Invoice from the suppliers.

Item No.10 is nothing like the description on the Invoice, but has six extremely shallow drawers only 3 inches deep. From the various dimensions given it is obvious that this suite is not the one quoted on the Invoice and the drawers of the chests and the doors of the bedside cupboards are all stained a different shade of orange. It is unfortunate that we have not the facilities here for adequate repacking, otherwise I would have returned this furniture as completely unsuitable and grossly over-priced for its quality.

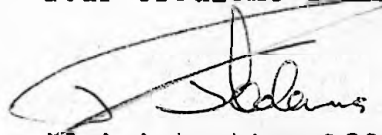
Item No.13. These chairs were not received with the loose cushions covered in Cirrus Everflex as Specified, but only in cotton covering.

Item No.14 is being returned as the frame is almost white and certainly not polished to match other furniture.

Item No.17. These four chairs were not covered in Grey Cirrus Everflex but in a bright pale blue. It is again unfortunate that they cannot be repacked as they are entirely unsuitable as they are. The leg of one chair was received broken.

It is with regret that I bring these matters to your attention for action, but in view of the trouble taken here and by your office to ensure that the furniture should be functional and suitable, I feel that Druce's should put the matters right and supply the goods specified on their Invoice.

I am, Sirs,
Your obedient servant,


Administrative Officer,
South Georgia.

C.C. The Honourable ,
The Colonial Secretary .
Port Stanley.



King Edward Point,
SOUTH GEORGIA.

2nd April, 1964.

Crown Agents for,
Oversea Governments and Administrations,
4, Millbank.
LONDON.

Administrative Officers Bungalow, South Georgia.
Contract No. E.C.3. South Georgia F.I.D. 270/1
=====

Gentlemen,

As my telegrams will have made evident, the general standard of workmanship which has gone into the building of this new house leaves much to be desired. In view of the number of faults still to be put right and the amount of work still outstanding when the builders left, I could not issue a certificate of completion.

When asked for a provisional finishing date, Howkins, Dorrens' supervisor, gave a firm date of March 15th. Later he re-affirmed this and said if necessary it could be March 14th. Five of the builders were sent home on March 17th but as it was evident to me that the work could not be completed in that time I arranged for three to stay on and finish the job; they left on March 24th.

Until the roof was on, the men worked Saturday afternoons and Sundays, but after the roof was on, they did not work any Saturday afternoons or Sundays until March 8th. Although it was quite evident that the work would not even be finished on the extended date, the remaining three did not work the last Saturday afternoon or Sunday.

It is with regret that I must report a lack of co-operation from Howkins. The man himself worked hard but at labouring which his men were reluctant to do, and not at supervising their work. The men seemed to have no knowledge of any working programme and on several occasions came to me to ask what was required.

As in my telegram 27.1.64. the copper flashings were not inserted over the windows and when I questioned Howkins he appeared to know nothing about them.

My telegram No.67 of 18.2.64. regarding the fourteen clips and four main braces to the roof which were omitted. I pointed out these omissions to Howkins and asked for an explanation, but he had none. I asked him to do something about them, but he did not do so until instructed by his company.

Cont'd

Repeatedly I had to point out really bad workmanship which would not provide the function for which it was intended, but Howkins showed great resentment and refused to admit that the workmanship was even poor. On one occasion I showed him wood which was split and splintered where nails had been driven in at random, but his only reply was; "It is not fair for you to criticise now, wait until you see the finish".

On three separate occasions he was reminded about the kitchen base and wall cabinet which Dorrans were to provide and on one occasion he was reminded that sufficient space must be left on the wall for its fitting, yet he allowed the joiner to erect the partition and doorway to the pantry leaving insufficient space. It was not until I asked him point blank where he had put the cabinets that he admitted that they were not shipped. If he had admitted this earlier, they could have been sent out on the "Kista Dan".

The doorway in the drawing-room was set off centre to the hallway and I pointed this out to Howkins before the covering strips were set on the panelling. However, he did nothing about it, and only after repeated requests did he do something. Unfortunately, he chose to bring forward the hall wall to hide up the discrepancy, and so, ^{as} one approaches the drawing-room the wall obviously slopes inwards.

As in my telegram No.67, all the roof frames were made with a curve of approx. $1\frac{1}{2}$ " upwards through the centre of the house, so that the partitions are not load-bearing as they should be. All the partitions are propped up with odd pieces of wood and all the cielings obviously rise in the middle of the house. Consequently, all door and window frames look crooked.

The wall panelling supplied for the bathrooms and the kitchen is not "Lacnite" as specified, but a very inferior imitation. The surfaces are badly scratched and damaged, and in the main bathroom particularly it was bowed away from the wall and the edges proud. Again, Howkins showed great resentment when I pointed this out to him. Although there was some effort to rectify this it is still a bad job. Silicone polish (provided by me) was applied but unfortunately, it was applied over paint spots and adhesive and it has all had to be cleaned off with Turps.

I have had a man working for several days cleaning off paint and adhesive from floors and walls. In some cases, the radiator valves were so thickly spray painted that it was impossible to read the ON-OFF marks.

Since there was no Primer and only one undercoat applied to the doors and woodwork, already, the pores of the wood have absorbed the paint and the open grain is showing through.

In the hall, main porch and office, the tiles are in two colours as insufficient of the correct colour were supplied.

At every join in the plasterboard wall covering there is a raised uneven strip approximately three inches wide where the plaster filler has been daubed on thickly and roughly. In the main porch, entrance and hall, it is particularly bad and in places a strip of thick paper shows through the paint. Since this is the first thing to meet a visitors eye, it is a particularly bad introduction to the rest of the workmanship.

Over the front door the effort to make a join and covering with coving, I can only describe, as a very poor effort.

According to the plan, cupboards and Formica tops were to be fitted into the corner nearest the window of the morning-room, yet a large radiator was installed there instead. A cut-down version has had to be placed behind the door.

The linen cupboard has been provided with rough wooden open shelves instead of prepared wood as specified. It was left caked with mud and splintered. This has had to be sanded and scrubbed. The floor tiles in this cupboard were left thick with adhesive. The doorway has been made too wide for the sliding doors and as the doors hang away from the frame almost $\frac{1}{2}$ of an inch, dust will enter. No lock has been provided on the linen cupboard.

Although Howkins was asked on several occasions about the provision of a broom and cleaning cupboard in the kitchen, he did nothing about it, yet after the men had left and an effort was being made to clear up some of their mess, a complete cupboard, ready constructed, was found in a packing case.

One of the uprights for the Formica working top was made from broken, splintered wood. This will have to be replaced. Apart from the china and glass cupboard, there were no cupboards built-in and valuable space which could well be used for storage was left open. It was not until the last day that Howkins filled in a very small space between the sink and larder to take a few cleaning materials. Although he had been asked weeks beforehand to screw a saucepan shelf to the wall, it was not until the last hour or so that this was done. (It was necessary that it should be done by one of the builders as there is no way of knowing where there is a batten to take any weight.)

The Formica sheets had been stuck to the working tops over dirt, and in one case, over a nail which protruded from the end. Where the Formica should butt the sink, it is so badly affixed that it bows up and constitutes a danger with its sharp edge. Already one person has been cut. I have endeavoured to show this on one of the photographs but unfortunately it does not show how bad a job this is.

The pelmet boards in the kitchen were not given sufficient depth to allow for the blinds and the curtain rails, consequently, the excuse made was that there was no time to fix them. In fact, it is impossible to fix the rails at all. One of the window frames has been split by two nails.

When the various appliances which were to be installed were shown to Hawkins, it was pointed out that allowance must be made for the free escape of heat from the grid at the back of the refrigerator, and free access to the vent in the Tumbler Drier. This was ignored, so that the refrigerator would not stand under the working top without taking off the grid. In doing so, the thermostat was broken. A rough, infact, very rough, hole was cut in the working top to give access to the vent of the Tumbler Drier, and this hole was left with splintered wood and sharp edge to the Formica without being smoothed off or painted.

Where a shelf was to be fixed near the cooker, the holes were drilled in the wrong place, and these holes were left unfilled and unpainted.

Where the sink cabinets were fixed about 2½ inches away from the wall, the space was left unfilled and no attempt to cover up was made until I insisted that something be done.

All plumbing and sanitary fittings were covered with layers of brown paper printed with the words, 'Remove with warm water before fixing'. This was not done and so the thickest part at the back of the basins and lavatory cisterns could not be removed after fixing to the wall and jagged soggy paper is left showing.

Where open slat bench seats 'Open Under' were specified, box seats have been provided, so that sea boots and ski boots cannot be placed under.

The floor at the top of the basement stairs has been left uncovered chipboard. The walls of the stairway are rough and uneven and the joints, bad. The sealer applied to the basement floor was done so over dirt, shavings, screws, nails, cigarette ends, matches and mud. Some of the concrete uprights were left caked with mud and a bucketfull of dirt, empty screw boxes, wood oof-cuts etc., was swept from under the shelves.

The door to the boiler room is so bowed near the jamb that the door will not close. The outside basement door is twisted out of true and does not close at the top.

On two windows in the drawing-room, strips, approximately 6 inches long have been broken from the closing edges, glued and pinned back in position.

The bookcase fittings intended for two corners of the drawing-room have been constructed in such a manner as to overlap the space available and obstruct the window curtains.

Moreover, one shelf is already split. It will be necessary to knock-down and reconstruct these fittings. No effort was made to do so by Hawkins.

There are two leaks in the main roof and ten leaks in the Conservatory roof.

The outside window frames have lumps of Pointing and Bostick and paint spattered.

The concrete pillars are left daubed with red numerals.

The strengthening rods used in the erection of outside stairways are left projecting 4 inches from the wood.

Whilst operating the JCB, one of Dorrans' men lifted and broke a water pipe. A trench was dug to find the break and this trench has been left only partially filled in. Nearby, mounds of cement marks where the cement mixer was used.

A very large excavation was made for shingle from the beach, ostensibly to be filled in with their rubbish, but it was left unfilled and unmarked. A real danger at night.

The one path on King Edward Point was holed and torn with the JCB and the tractor but this was left unmade. Steel banding was left strewn over a large area, again a danger at night.

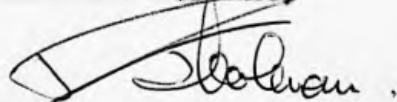
The photographs enclosed will give some idea of the extensive area left strewn with rubbish, empty packing cases, plasterboard and asbestos board, pipes, broken sanitary fittings, broken wall units etc. etc. During high winds Poron was left unprotected and allowed to blow over a large area where it has been left in the tussock up the Point.

I also enclose photographs of some interior finishes and workmanship. These are numbered, and corresponding number on Drawing No. 5564(1) enclosed, show location.

It is most regrettable that I have to make a report of this nature. I gathered the impression that Dorrans were most anxious to make a first class job and this report must be somewhat disappointing. Nevertheless, the finished effect of the decor will be pleasing to the eye, the wall paper looks exceedingly well and I am sure that the house will be comfortable and warm.

I am, Gentlemen,

Your obedient servant,



c.c. The Honourable,
The Colonial Secretary,
Port Stanley.

Administrative Officer.
SOUTH GEORGIA.

205
DECODE.

No. 68

TELEGRAM.

From Administrative Officer, South Georgia

To Colonial Secretary, Stanley.

Despatched : 13th April, 19 64 *Time :* 1225

Received : 13th April, 19 64 *Time :* 1130

See 906
No. 149. Your telegram No. 118. Following for Crown Agents. Begins.

Furniture A.O. Bungalow. Confirm items 3 and 12 grey everflex. Items 10, 11 and 12 repeat are bright orange colour and part plywood am endeavouring to have them cleaned off and repolished here. Item 14 was supplied in whitewood and is required in light oak. Item 2 has been returned. Invoice states mahogany timbers not just finished and as item 20 is mahogany it is nothing like that. Think you will agree price far in excess of quality of table. Ends.

Administrative

PL:TB

207
DECODE.

No. 71

TELEGRAM.

From Administrative Officer, South Georgia

To Colonial Secretary, Stanley.

Despatched : 13th April, 19 64 *Time :* 1308

Received : 13th April, 19 64 *Time :* 1130

See 208
No. 151. Following for Crown. Begins. Contract EC3
South Georgia FID 270/1 additional defects noted. Rainwater again
coming through by west window in main bathroom as reported in
my telegram No. 94 and also by East window both sides of sill in
guest bedroom. Ends.

Adminoff

PL/TB.

207
DECODE.

No. 40.

TELEGRAM.

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 15th April, 19 64. *Time :* 1344

Received : 15th April, 19 64. *Time :*

Following for Adminoff South Georgia.

Your letter No. 119 we have noted defects but
assume you can locate leaks and seal with mastic.

Crown

P/L : LH

Reply at 215

DECODE.

No. 57.

TELEGRAM.*From* Crown Agents, London SW1.*To* Colonial Secretary, Stanley.

<i>Despatched :</i>	16th April,	19 64.	<i>Time :</i> 1225
<i>Received :</i>	16th April,	19 64.	<i>Time :</i>

PRIORITY.

Following for Adminoff South Georgia begins.

266

Your telegram 118 furniture proceeding with replacement chair seats and backs and item 14. Regarding item 2 firm still unable understand how table differs from item 20 except in size and top lined everflex can supply replacement exactly as item 20 without lines top or size 4 foot by 2f with top lined everflex etc please clarify and advise by return since original supply will not arrive UK before replacements are shipped.

P/L : IH

Reply at 217

214

DECODE.

No. 80.

TELEGRAM.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 17th April, 19 64. *Time :* 1151

Received : 17th April, 19 64. *Time :* 1100

210 No. 152. Your telegram No. 120. Following for
Crown begins

Can seal with mastic but have yet to find source
of leaks. Ends.

Administrative Officer

P/L : LH
(Intld.) HLB

DECODE.

No. 85.

TELEGRAM.*From*.....Administrative Officer, South Georgia.*To*.....Colonial Secretary, Stanley.....*Despatched :* 17th April, 19 64. *Time :* 1903*Received :* 18th April, 19 64. *Time :* 0900

212

No. 153. Your telegram No. 121. Following for
Crown begins.

Furniture item 2. Replace exactly as item 20
without lined top. Table supplied differs in materials
colour and finish and I would be interested to know your
valuation compared with price charged. Ends.

P/L : IH

DECODE.

No. 44.

TELEGRAM.*From* Crown Agents, London SW1.*To* Colonial Secretary, Stanley.

<i>Despatched :</i>	24th April,	19 64.	<i>Time :</i> 1115
<i>Received :</i>	24th April,	19 64.	<i>Time :</i>

172

Your telegram March 20th. Following for Administrative Officer South Georgia. Simms have investigated whether fire proofing of timber is affecting adhesion of tiles but they do not find evidence of this. They consider laying tiles with evestik should be satisfactory.

Crown

F/L : LH

(Intld.) HLB

TELEGRAM.

From Crown Agents, London SW1.

To Colonial Secretary, Stanley.

Despatched : 14th May, 19 64. Time : 1348

Received : 15th May, 19 64. Time : 0900

Following for Administrative Officer South Georgia.

183

200

Re your recent telegrams and letters concerning bungalow. We have asked Dorrans to supply spare parts and lists for refrigerator etc. also for replacements as your telegram No. 103 but unlikely we can ship before September due lack opportunity. Regarding leaking windows Dorrans suggest adjustment to copper weather strips may be necessary. We are negotiating with Dorrans concerning your letter 2nd April and will advise outcome soonest.

Crown

P/L : LH

DECODE.

No. 57.

TELEGRAM.From Administrative Officer, South Georgia.To Colonial Secretary, Stanley.

Despatched : 9th June, 1964. Time : 1800

Received : 9th June, 1964. Time :

No. 196. Following for Crown begins

188

Contract EC3 270/1 FID reference your telegram No.

113 dated 3/4/64 have now received from Albion Star account for labour supplied for clearance of site works and moving unpacking and storing Government sheds all surplus materials also collecting shingle for roads. Account shows 96 man hours at 23/- per hour total £110. 8. 0. Items 1, 4 to 11, 14 and leaks main and conservatory roofs as in my telegram No. 132 dated 27/3/64 have been completed by Government labour also lock plates on 9 doors have had to be repositioned.

178

178

Since my telegram No. 132 following additional defects

- (a) 10 ceiling tiles drawing room have part dropped about $\frac{1}{4}$ inch. Plywood panelling drawing room wall by main bedroom warped and where it meets north side wall has drawn apart about $\frac{1}{2}$ inch. Entrance doors to drawing room, right hand door split across full width.
- (b) Door to guest room split top right hand corner for about 9 inches.
- (c) Main bedroom sliding doors to built in cupboards all four door warped and no longer run on tracks and right hand cupboard doors have fallen out.
- (d) Wall between office and corridor and wall between basement stairway and corridor, both walls on corridor side have bulged at skirting and skirting no longer fast to floor.
- (e) Kitchen door warped and cannot be closed.
- (f) Central heating circulation can only be efficiently maintained by use of both pumps although second pump was only intended as standby for repair and maintenance of other.

Still unable to locate source of leaks near windows in main and guests bedrooms.

Administrative Officer

Reply at 228.

P/L : LH

DECODE.

No. 36.

TELEGRAM.

227

From.....Grown Agents, London.....

To.....Colonial Secretary, Stanley.....

Despatched : 16th July, 19 64. *Time :* 1327

Received : 16th July, 19 64. *Time :*

226

Following for Adminoff South Georgia. Your telegram
No. 172.

Have referred complaints to Dorrans meantime you may rectify minor matters under clause 38 (4) and advise us of cost for deduction from retention sum. Reference you report agreement reached with Dorrans on deductions. Allowance made for early withdrawal of team. Under circumstances we consider in absence completion certificate for six months maintenance to date from 23rd March. Full comments follow in letter.

P/L : LH

DECODE.

No. 78.

TELEGRAM.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 16th July, 19 64. Time : 1200

Received : 16th July, 19 64. Time :

No. 244. Following for Crown begins.

Grateful for estimate for loose covers adjustable type for two seat rothesay settee and three easy chairs in multi colour fleck suitable most colour schemes. Settee and easy chairs as supplied by Hampton their estimate No. 620 ref No. 59/WRB/ST dated 26th July 1957 and Crown Agents Indent No. L/SG/49/57 refers. Ends.

P/L : LH
(Intld.) HLB

Reply at 232

DECODE.

No. 53.

TELEGRAM.*From* Crown Agents, London SW1.*To* Colonial Secretary, Stanley.

<i>Despatched :</i>	6th August,	19 64.	<i>Time :</i> 1722
<i>Received :</i>	7th August,	19 64.	<i>Time :</i>

Following for Administrative Officer.

230

Your telegram No. 202 experiencing difficulties since manufacture Rothesay suite discontinued approx ten years. Please confirm distance between arms settee 42 inches. Confirm easy chairs also Rothesay and advise whether covers required cotton tapestry or wool material.

Crown

212

P/L : IH

Reply at 234

DECODE.

TELEGRAM.

From Administrative Officer, South Georgia.

To Colonial Secretary, Stanley.

Despatched : 8th August, 19 64. *Time :* 1745

Received : 19 *Time :*

232

No. 262. Your telegram No. 212. Following for Crown. Confirm distance between arms of settee at widest point 42 inches easy chairs also Rothsay. Regards material suggest zedette loose covers made by Zedette Products Wigston Leicester. Contemporary type.

Administrative Officer

P/L : LH

Reply at 236

DECODE.

No. 4.

TELEGRAM.

From Crown Agents, London.

To Colonial Secretary, Stanley.

Despatched : 31st August, 19 64. *Time :* 1340

Received : 31st August, 19 64. *Time :*

Following for Adminoff.

234

Your telegram 222 10th August estimated cost from Zedettes price list £16 but order accepted only subject receipt measurement chart which forwarded to you for completion and return.

Crown

Reply at 238

P/L : LH
(Intid.) HLB

DECODE.

No. 3.

TELEGRAM.*From* Administrative Officer, South Georgia.*To* Colonial Secretary, Stanley.*Despatched :* 1st September, 19 64. *Time :* 1355*Received :* 19 *Time :*

236

No. 286. Your telegram No. 235. Following for
Crown begins

Zedettes loose covers. Will await measurements
chart and on receipt will place indent in the normal way.
Ends.

Administrative Officer

P/L : LH
(Intld.) HLB

King Edward Point,
SOUTH GEORGIA.
17th September, 1964.

Your ref: EC3/South Georgia
F.I.D. 270/1

The Crown Agents,
For Oversea Governments and Administrations,
4 Millbank,
LONDON.S.W.1.



Dear Sirs,

Herewith details of work done by Government Staff on the Administrative Officer's Bungalow during the period of maintenance.

I leave it to your discretion to decide which items may be termed a fair charge on builders, under the terms of contract.

The hourly rate for Government Staff has been calculated on the basis, annual salary plus gratuity. No charge has been made for housing or feeding. No charge has been made for materials as these were drawn from surplus stock left over from Discovery House and Bungalow contracts.

MAN HOURS

Bookcase fitments, repairs to shelves and adapting to fit	6
Renew leg support kitchen work top	2
Cleaning off, planing and sandpapering shelves to linen cupboard	7
Laying tiles basement landing	6
Coat hooks front porch ...	1
Repairing kitchen pelmet .	2
	<hr/>
	24 C/FD
	<hr/>

(2)

24 B/FD

Internal cleaning and cleaning off tiles in Bathrooms, Hallways, Lin. Cpd. and Kitchen	72
Overhaul to spare Nu-way burner unit	10
Lock plates reposition 9 doors	8
Renew Guest Bedroom door	16
Two sliding doors main bed- room wardrobe renewed, tracks to fit	32
Kitchen door remove and rehang	2
Larder door remove and rehang	2
Two leaks in main roof repair	5
Ten leaks Conservatory roof repair	7
Windproofing 4 Outside doors .	8
Lagging and casing to under building run of water and central heating pipes, casing to enlarge and make wind tight increase quantity of lagging .	120
Larder shelving to strengthen and cover with formica	16

PaintingMain Bedroom:

Ceiling and Walls, filled up,
prepared and painted two coats
of flat oil paint.

Woodwork, filled up, prepared
and painted one coat of gloss
paint.

New Wardrobe doors, prepared
and stained to match existing
doors.

Radiators painted one coat of
gloss paint. All fittings
removed and cleaned 49

 371 C/FD

(3)

371 B/FD

Main Bathroom:

Ceiling prepared and painted
one coat gloss paint.

Walls prepared and painted
two coats of undercoating
and one coat of gloss
paint, radiator painted one
coat of gloss paint. All
fittings removed and
cleaned 35

Guest Bedroom:

Walls filled up prepared and
painted two coats of flat oil
paint.

Woodwork prepared and painted
one coat of undercoating and
one coat of gloss paint.

New Door prepared and painted
two coats of undercoating
and one coat of gloss paint,
radiators painted, all
fittings removed and cleaned 28

Guest Bathroom:

Ceiling and Woodwork filled
up prepared and painted one
coat of undercoating and
one coat of gloss paint.

Walls Joints filled up,
laconite cleaned, radiator
painted all fittings cleaned 20

Morning Room:

Woodwork filled up prepared
and painted one coat of
undercoating and one coat of
gloss paint.

Conservatory:

cracks filled up and painted
one coat of gloss paint,
radiator painted one coat
gloss, all fittings removed
and cleaned..... 14

(4)

468 B/FD

Kitchen:

Ceiling prepared and painted
one coat of gloss paint.

Walls filled up, prepared
and painted one coat of
undercoating and one coat
of gloss paint.

Woodwork filled up, prepared
and painted one coat of gloss
paint.

Two new units painted one
coat of undercoating and
one coat of gloss paint to
match. Radiator painted,
all fittings removed and
cleaned 42

Office:

Walls prepared and painted
two coats of flat oil paint.

Woodwork filled up prepared
and painted one coat of
gloss paint. Radiator painted
all fittings removed and
cleaned 21

Back Stair:

Ceiling walls and woodwork
prepared and painted one coat
of gloss paint.

Stair treads one coat of varnish
stain, all fittings removed
and cleaned 19

Main Hall: Hallway leading toKitchen: Front and Back Porch:

Ceiling and walls filled up
prepared and painted two coats
of flat oil paint.

Woodwork filled up, prepared
and painted one coat of
undercoating and one coat of
gloss paint.

(5)

550 B/FD

Radiator painted, all
fittings removed and
cleaned 120

All glass cleaned of spots,
all departments.

Dining Room:

Woodwork filled up, prepared
and painted one coat of gloss
paint, radiator painted one
coat of gloss paint.
All fittings removed and cleaned.

21

TOTAL

691 HOURS @ 6/- £207.6.0d.

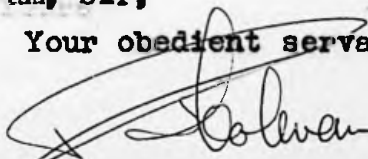
=====

In addition to above, attached please find an
account from Albion Star (South Georgia) Ltd., for site
clearance and removal and storage of surplus materials.
Would be grateful for your instructions as to payment
of this account for £110.8.0d.

There remains the ceiling tiles in the drawing-room
and walls in the corridor, which so far we have been
unable to repair. Two weeks ago snow sliding from the
roof broke away the vent pipe from the main drain which
was attached to the outside wall. This pipe has drawn
the staples attaching it to the wall and caused two of
the wall units to draw out about one inch.

I am, Sir,

Your obedient servant,



Administrative Officer,
SOUTH GEORGIA.

Copy to:

The Honourable,
The Colonial Secretary,
STANLEY.

INVENTORY OF ADMINISTRATIVE OFFICER'S HOUSE.

As Home 26

Put in file

51

DRAWING ROOM.

Fitted carpet, red
Lined red velvet curtain at all windows
six cushion covers red velvet
six Dunlopillo cushions
White Shaggy Dog rug
Long John, coffee table
Three nests of coffee tables
Three mahogany tables, each with 2 drawers
Two small chairs with grey backs and seats
Two large armchairs, grey
Four large armchairs, dark green
Three seater settee matching dark green
Two centre light fittings, each with 5 shades
Two matching table lamps with shades
Four wall lights with shades
Glass fronted book case
Corner fitting open book shelves
Drawing room clock
Log effect fixed elect fire
Cocktail cabinet containing 30 cocktail glasses
12 whisky glasses
10 large brandy balloons (not govt property)
various odd glass " " "

FRONT PORCH AND ENTRANCE HALL

Red carpet throughout
Two wall mirrors on porch
White Terylene net curtains
Small chair with grey seat and back
Walnut console table in hall
Formica topped telephone table with black ashtray alongside
White glass light fitting
Oval gate legged table in corridor
Signed photographs of Queen & Duke

MAIN BEDROOM AND BATHROOM

Green background, flowered carpet
Green velvet curtains
Double bed with spring mattress & headboard
Two bedside tables, light oak
Two bedside lamps, light oak, complete with shades
Two chests of drawers, light oak
Dressing Table with mirror, light oak
Two armchairs, light oak, two loose grey cushions
Dressing Table stool, grey top
Two white parchment light fittings
Flexible arm spot light
Built in wardrobes
Small light oak table
One large, one small bathroom cabinets with mirrors
Mirror over hand basin
Towel rail and radiator
Ashtray affixed to wall near toilet
Toilet roll holder
Pink bathmat
~~Smelly white~~
Cork topped linen box
Toothbrush holder
Two tooth glasses
White towelling curtains, pink & red spots (spare pair in linen cupboard)
Three arm chrome towel rail over bath for drip dry
Shelf over bath
Lavatory brush & holder

GUEST BEDROOM AND BATHROOM

Twin beds with mattresses
 Two bedside cupboards
 Two table lamps
 Two white parchments light fittings
 Dressing Table with mirror
 Two chests of drawers
~~Dark green curtains~~
 Grey carpet
 Dark green curtains
 3 pairs sheets for each bed
 3 pairs pillow cases for each bed
 Yellow candlewick bedspread for each bed
 3 white satin-bound blankets for each bed
 2 Armchairs, grey
 Towel rail and radiator
 Bath tray
 Cork topped linen basket
 Mirror fixed to wall
 Bathroom cabinet
 Toothbrush holder
 Two plastic tooth glasses
 shelf over bath
 Three arm chrome towel rail over bath for drip dry
 Green bathmat
 Nine guest towels
 Toilet roll holder
 Lav brush and holder
 White terylene curtains

MORNING ROOM.

Plain green carpet
 Mustard colour curtains, flowered
 3 Matching cushion covers and Dunloppillo cushions.
 Formica topped cupboards
 Glass fronted bookcase
 Fixed grey tiled fire surround
 Migicoal elect fire
 Nest of 3 coffee tables
 Three purple upholstered wooden armchairs
 Two green large armchairs
 Small odd table
 Three black & chrome ashtrays
 Tailored divan covers stored in linen cupboard should divan be required
 in this room (Divan stored at Shackleton House)
 Centre pendant light with 3 shades
 Four matching wall lights

CONSERVATORY

Wooden slats fitted round two sides
 Slat fixture on third side
 Slat wooden bench
 Small armless chair
 Green rug
 Very old, marble topped cupbaord for tools etc
 Two watering cans
 Zinc lined boxes for earth
 One strip light
 Small formica topped table
 Two buckets

DINING ROOM

Red Carpet
 Red Velvet Curtains
 Centre light fitting.
 Standing lamp
 Small lamp on sideboard
 Table
 6 Dining chairs, loose grey covered seats
 Sideboard
 Serving chest, two drawers
 Small rectangular formica topped table
 Electric hotplate
 Silver teapot & silver coffee pot
 Two stainless steel cruets
 Two " " butter dishes with knives
 Two " " gravy ladles
 1 doz " " dinner knives & forks
 1 doz " " desert knives & forks & spoons
 1 doz " " fish knives & forks
 1 doz " " teaspoons
 1 doz " " coffee spoons
 1 doz " " soup spoons
 1 doz " " pastry knives & forks
 1/2 doz " " serving spoons & forks
 Carving set
 Bread Knife
 Tea trolley

STUDY

Green carpet
 Yellow velvet curtains
 Leather topped desk
 Desk chair
 2 small chairs
 Oak bureau
 Open book shelves
 Formica topped oak table for typewriter
 Desk lamp
 Centre light fitting
 Steel safe
 Combined wardrobe/drawer unit
 Divan bed stored in Shackleton if required
 3 heavy glass ashtrays

LINEN CUPBOARD

2 under sheets
 Bed linen for guest bedroom
 8 pillows
 Chest of drawers from guest bedroom
 Ironing board
 Iron
 Electric polisher
 small pair steps
 spare cleaning clothes

HALL COAT CUPBOARD

Hoover cleaner with all attachments
 Carpet sweeper

KITCHEN

(4)

Blue Venetian Blinds
Red formica topped table
2 white kitchen chairs
Double stainless steel sink
Laundry sink
Hoover washing machine
Tumbler dryer
Elect cooker with grillpan & elect kettle
Refrigerator (large Frididaire in cellar)
Elect mixmaster with all attachments including 1 china mixing bowl
(damaged) two steel mixing bowls.
Liquidiser for above
Elect motor adaptor for above
Morphy Richards elect toaster
Suite of glasses for dining room
Matching water jug
Matching decanter
Two plain water jugs
16 matching tumblers
12 cocktail glasses
2 stainless steel trays
Stainless steel teaset & coffee jug
Alum coffee percolator
Chrome Sona percolator large size
2 stainless steel veg dishes
Stainless steel gravy boat
" " toast rack
silver " "
white & blue dinner service
Three matching veg dishes
Two matching gravy boats
White & green tea service
6 matching plates
White & green coffee service
Two water carafes and glasses
Omelette pan
Copper bottom frying pan
7 " " saucepans with lids
3 pyrex baking dishes
3 " plates
Souffle dish & 6 individual souffle dishes
Salter scales & small measuring scales
Measuring jug, palette knife, strainer, slices etc. whisk
swedish cheese slice, pastry cutters, perforated spon
mixing bowls
Baking trays, cake baking trays, bread baking tins.
Two jelly moulds, individual moulds, one doz
Chip maker, egg slicer
odd GR knives, forks & spoons
Cook's knife
Venetian blind brush, brushes and pads for elect cleaner
Ice trays for both frigs
Two cake cooling racks, bread bin, meat saw
Egg poacher
Dustpan and brush, long brush, squeegee mop, long handled dustpan & brush
3 buckets, polythene, 1 bowl, polythene
Window leather, dusters, cleaning materials
Various cups, saucers, plates, glasses, strong serving dishes,
Glass cheese dish,

fa